

### PROPERTY DISCLOSURE

Under Maine Law, certain information must be made available to buyers prior to or during preparation of an offer. This statement has been prepared to assist prospective buyers in evaluating this property. This disclosure is not a warranty of the condition of the property and is not part of any contract between Seller and any Buyer. Seller authorizes the disclosure of the information in this statement to real estate licensees and to prospective buyers of this property. The Seller agrees to provide prompt notice of any changes in the information and this form will be appropriately changed with an amendment date. Inspections are highly recommended.

**DO NOT LEAVE ANY QUESTIONS BLANK. STRIKE, WRITE N/A OR UNKNOWN IF NEEDED.**

#### SECTION I – WATER SUPPLY

TYPE OF SYSTEM:  Public  Private  Seasonal \_\_\_\_\_  Unknown  
 Drilled  Dug  Other \_\_\_\_\_

MALFUNCTIONS: Are you aware of or have you experienced any malfunctions with the (public/private/other) water system?  
Pump (if any): .....  N/A  Yes  No  Unknown  
Quantity: .....  Yes  No  Unknown  
Quality: .....  Yes  No  Unknown  
If Yes to any question, please explain in the comment section below or with attachment.

WATER TEST: Have you had the water tested? .....  Yes  No  
If Yes, Date of most recent test: n/a Are test results available? ..  Yes  No  
To your knowledge, have any test results ever been reported as unsatisfactory or satisfactory with notation? ..... n/a  Yes  No  
If Yes, are test results available? ..... n/a  Yes  No  
What steps were taken to remedy the problem? n/a

IF PRIVATE: (Strike Section if Not Applicable):  
INSTALLATION: Location: At the bottom of driveway before it opens to Cabins. near barrel  
Installed by: Unknown  
Date of Installation: Unknown  
USE: Number of persons currently using system: hardly used.  
Does system supply water for more than one household?  Yes  No  Unknown

Comments: Seasonal use.

Source of Section I information: Seller, previous Property disclosures, septic sketch.

Buyer Initials \_\_\_\_\_ Page 1 of 7 Seller Initials AA

**SECTION II – WASTE WATER DISPOSAL**

TYPE OF SYSTEM:  Public  Private  Quasi-Public \_\_\_\_\_  Unknown

~~IF PUBLIC OR QUASI-PUBLIC (Strike Section if Not Applicable):~~

~~Have you had the sewer line inspected?.....  Yes  No~~

~~If Yes, what results: \_\_\_\_\_~~

~~Have you experienced any problems such as line or other malfunctions? .....  Yes  No~~

~~What steps were taken to remedy the problem? \_\_\_\_\_~~

IF PRIVATE (Strike Section if Not Applicable):

Tank:  Septic Tank  Holding Tank  Cesspool  Other: \_\_\_\_\_

Tank Size:  500 Gallon  1000 Gallon  Unknown  Other: \_\_\_\_\_

Tank Type:  Concrete  Metal  Unknown  Other: \_\_\_\_\_

Location: Between the Cabins, close to the driveway after boulders  Unknown

Date installed: 2014 Date last pumped: n/a Name of pumping company: n/a

Have you experienced any malfunctions? .....  Yes  No

If Yes, give the date and describe the problem: n/a

Date of last servicing of tank: n/a Name of company servicing tank: n/a

Leach Field: .....  Yes  No  Unknown

If Yes, Location: Beyond driveway between right cabin & shed.

Date of installation of leach field: 2014 Installed by: Unknown.

Date of last servicing of leach field: n/a Company servicing leach field: Unknown.

Have you experienced any malfunctions? .....  Yes  No

If Yes, give the date and describe the problem and what steps were taken to remedy: n/a

Do you have records of the design indicating the # of bedrooms the system was designed for?  Yes  No

If Yes, are they available? .....  Yes  No

Is System located in a Shoreland Zone? .....  Yes  No  Unknown

Comments: Previous tank from 1970 was metal & removed - New design for TWO - 2BR dwellings

Source of Section II information: Septic design.

Pump-up system.

Buyer Initials \_\_\_\_\_

Seller Initials 

**SECTION III – HEATING SYSTEM(S)/HEATING SOURCES(S)**

Heating System(s) or Source(s)	SYSTEM 1	SYSTEM 2	SYSTEM 3	SYSTEM 4
TYPE(S)	Heat Pump	Electric Heat in Camp on left.		
Age of system(s) or source(s)	2015	Unknown.		
Name of company that services system(s) or source(s)				
Date of most recent service call	Unknown	Unknown		
Annual consumption per system or source (i.e., gallons, kilowatt hours, cords)	Electric Consumption attached.			
Malfunction per system(s) or source(s) within past 2 years				
Other pertinent information	Hardly ever used.	I've requested electrical. Waiting to hear back.		

Are there fuel supply lines? .....  Yes  No  Unknown

Are any buried? .....  Yes  No  Unknown

Are all sleeved? .....  Yes  No  Unknown

Chimney(s): .....  Yes  No

    If Yes, are they lined: ..... n/a  Yes  No  Unknown

    Is more than one heat source vented through one flue? ..... n/a  Yes  No  Unknown

    Had a chimney fire: ..... n/a  Yes  No  Unknown

    Has chimney(s) been inspected? ..... n/a  Yes  No  Unknown

        If Yes, date: n/a

        Date chimney(s) last cleaned: n/a

Direct/Power Vent(s): ..... n/a  Yes  No  Unknown

    Has vent(s) been inspected? ..... n/a  Yes  No  Unknown

        If Yes, date: n/a

Comments: \_\_\_\_\_

Source of Section III information: Previous disclosures, Seller.

**SECTION IV – HAZARDOUS MATERIAL**

The licensee is disclosing that the Seller is making representations contained herein.

**A. UNDERGROUND STORAGE TANKS** - Are there now, or have there ever been, any underground storage tanks on the property? .....  Yes  No  Unknown

If Yes, are tanks in current use? .....  Yes  No  Unknown

If no longer in use, how long have they been out of service? n/a

If tanks are no longer in use, have tanks been abandoned according to DEP?  Yes  No  Unknown

Are tanks registered with DEP? ..... n/a  Yes  No  Unknown

Age of tank(s): n/a Size of tank(s): n/a

Location: n/a

Buyer Initials \_\_\_\_\_ Page 3 of 7 Seller Initials [Signature]

What materials are, or were, stored in the tank(s)? n/a

Have you experienced any problems such as leakage: ..... n/a .....  Yes  No  Unknown

Comments: n/a

Source of information: Seller, previous disclosures.

**B. ASBESTOS** — Is there now or has there been asbestos:

As insulation on the heating system pipes or duct work? .....  Yes  No  Unknown

In the ceilings? .....  Yes  No  Unknown

In the siding? .....  Yes  No  Unknown

In the roofing shingles? .....  Yes  No  Unknown

In flooring tiles? .....  Yes  No  Unknown

Other: \_\_\_\_\_  Yes  No  Unknown

Comments: none

Source of information: Seller, previous disclosures.

**C. RADON/AIR** - Current or previously existing:

Has the property been tested? ..... n/a .....  Yes  No  Unknown

If Yes: Date: \_\_\_\_\_ By: \_\_\_\_\_

Results: \_\_\_\_\_

If applicable, what remedial steps were taken? \_\_\_\_\_

Has the property been tested since remedial steps? .....  Yes  No  Unknown

Are test results available? .....  Yes  No

Results/Comments: \_\_\_\_\_

Source of information: \_\_\_\_\_

**D. RADON/WATER** - Current or previously existing:

Has the property been tested? ..... n/a .....  Yes  No  Unknown

If Yes: Date: \_\_\_\_\_ By: \_\_\_\_\_

Results: \_\_\_\_\_

If applicable, what remedial steps were taken? \_\_\_\_\_

Has the property been tested since remedial steps? .....  Yes  No  Unknown

Are test results available? .....  Yes  No

Results/Comments: \_\_\_\_\_

Source of information: \_\_\_\_\_

**E. METHAMPHETAMINE** - Current or previously existing:

Yes  No  Unknown

Comments: none

Source of information: Seller, previous disclosures.

Buyer Initials \_\_\_\_\_

Seller Initials  \_\_\_\_\_

**F. LEAD-BASED PAINT/PAINT HAZARDS** — (Note: Lead-based paint is most commonly found in homes constructed prior to 1978)

Is there now or has there ever been lead-based paint and/or lead-based paint hazards on the property? .....  
.....  Yes  No  Unknown  Unknown (but possible due to age)

If Yes, describe location and basis for determination: n/a

Do you know of any records/reports pertaining to such lead-based paint/lead-based paint hazards:  Yes  No

If Yes, describe: \_\_\_\_\_

Are you aware of any cracking, peeling or flaking paint? .....  Yes  No

Comments: none

Source of information: Seller, Previous disclosures.

**G. OTHER HAZARDOUS MATERIALS** - Current or previously existing:

TOXIC MATERIAL: .....  Yes  No  Unknown

LAND FILL: .....  Yes  No  Unknown

RADIOACTIVE MATERIAL: .....  Yes  No  Unknown

Other: n/a

Source of information: Seller, Previous disclosures.

**Buyers are encouraged to seek information from professionals regarding any specific issue or concern.**

**SECTION V – GENERAL INFORMATION**

Is the property subject to or have the benefit of any encroachments, easements, rights-of-way, leases, rights of first refusal, life estates, private ways, trails, homeowner associations (including condominiums and PUD's) or restrictive covenants? .....  Yes  No  Unknown

If Yes, explain: easements - Bangor Hydro, New England Telegraph Company

Source of information: Deed

Is access by means of a way owned and maintained by the State, a county, or a municipality over which the public has a right to pass? .....  Yes  No  Unknown

If No, who is responsible for maintenance? Property owner.

Road Association Name (if known): n/a

Buyer Initials \_\_\_\_\_

Seller Initials  \_\_\_\_\_

Are there any tax exemptions or reductions for this property for any reason including but not limited to:  
Tree Growth, Open Space and Farmland, Veteran's, Homestead Exemption, Blind, Working Waterfront?.....  
.....  Yes  No  Unknown

If Yes, explain: None

Is a Forest Management and Harvest Plan available?.....  Yes  No  Unknown

Is house now covered by **flood insurance policy** (not a determination of flood zone)  Yes  No  Unknown

Equipment leased or not owned (including but not limited to, propane tank, hot water heater, satellite dish,  
water filtration system, photovoltaics, wind turbines): Type: None.

Year Principal Structure Built: +/- 1970

What year did Seller acquire property? 2014

Roof: Year Shingles/Other Installed: Unknown - Seller acknowledges the condition of Shingles.

Water, moisture or leakage: No water, moisture or leakage.

Comments: n/a

Foundation/Basement:

Is there a Sump Pump? .....  Yes  No  Unknown

Water, moisture or leakage since you owned the property: .....  Yes  No  Unknown

Prior water, moisture or leakage? .....  Yes  No  Unknown

Comments: Foundation is Slab.

Mold: Has the property ever been tested for mold? .....  Yes  No  Unknown

If Yes, are test results available? .....  Yes  No

Electrical:  Fuses  Circuit Breaker  Other: \_\_\_\_\_  Unknown

Comments: None.

Has all or a portion of the property been surveyed? .....  Yes  No  Unknown

If Yes, is the survey available? ..... n/a  Yes  No  Unknown

Manufactured Housing – Is the residence a:

Mobile Home .....  Yes  No  Unknown

Modular .....  Yes  No  Unknown

KNOWN MATERIAL DEFECTS about Physical Condition and/or value of Property, including those that may  
have an adverse impact on health/safety: None known

Comments: n/a

Source of Section V information: Previous disclosures, seller

**SECTION VI — ADDITIONAL INFORMATION**

- Well water travels to Cabin on left first & then to Cabin on right.
- Right Cabin was completely renovated. All new electrical, lighting, flooring, Sills, Windows, Kitchen, bathroom.
- 2021 taxes: Lot 026-012-A are \$2,031.59 Lot 026-012-C are \$963.60

ATTACHMENTS EXPLAINING CURRENT PROBLEMS, PAST REPAIRS OR ADDITIONAL INFORMATION IN ANY SECTION IN DISCLOSURE: .....  Yes  No

Seller shall be responsible and liable for any failure to provide known information regarding known material defects to the Buyer.

Neither Seller nor any Broker makes any representations as to the applicability of, or compliance with, any codes of any sort, whether state, municipal, federal or any other, including but not limited to fire, life safety, building, electrical or plumbing.

As Sellers, we have provided the above information and represent that all information is correct. To the best of our knowledge, all systems and equipment, unless otherwise noted on this form, are in operational condition.

	SELLER	DATE	SELLER	DATE
	Vance A. Aloupis			

SELLER	DATE	SELLER	DATE
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I/We have read and received a copy of this disclosure, the arsenic in wood fact sheet, the arsenic in water brochure, and understand that I/we should seek information from qualified professionals if I/we have questions or concerns.

BUYER	DATE	BUYER	DATE
-------	------	-------	------

BUYER	DATE	BUYER	DATE
-------	------	-------	------

# LEAD PAINT DISCLOSURE/ADDENDUM

AGREEMENT BETWEEN Vance A. Aloupis (hereinafter "Seller")  
AND \_\_\_\_\_ (hereinafter "Buyer")  
FOR PROPERTY LOCATED AT 22 Conary Lane , Surry, ME 04684

Said contract is further subject to the following terms:

## **Lead Warning Statement**

Every purchaser of any interest in residential real property on which a residential dwelling was built prior to 1978 is notified that such property may present exposure to lead from lead-based paint that may place young children at risk of developing lead poisoning. Lead poisoning in young children may produce permanent neurological damage, including learning disabilities, reduced intelligence quotient, behavioral problems, and impaired memory. Lead poisoning also poses a particular risk to pregnant women. The seller of any interest in residential real property is required to provide the buyer with any information on lead-based paint hazards from risk assessments or inspections in the seller's possession and notify the buyer of any known lead-based paint hazards. A risk assessment or inspection for possible lead-based paint hazards is recommended prior to purchase.

## **Seller's Disclosure (check one)**

(a) Presence of lead-based paint and/or lead-based paint hazards (**check one below**):

\_\_\_\_ Known lead-based paint and/or lead-based paint hazards are present in the housing (explain).  
\_\_\_\_\_

Seller has no knowledge of lead-based paint and/or lead-based paint hazards in the housing.

(b) Records and reports available to the Seller (**check one below**):

\_\_\_\_ Seller has provided the Buyer with all available records and reports pertaining to lead-based paint and/or lead-based paint hazards in the housing (list documents below).  
\_\_\_\_\_

Seller has no reports or records pertaining to lead-based paint and/or lead-based paint hazards in the housing.

## **Buyer's Acknowledgment**

(c) Buyer has received copies of all information listed above.

(d) Buyer has received the pamphlet Protect Your Family from Lead in Your Home.

(e) Buyer has (**check one below**):

\_\_\_\_ Received a 10-day opportunity (or mutually agreed upon period) to conduct a risk assessment or inspection for the presence of lead-based paint and/or lead-based paint hazards; or

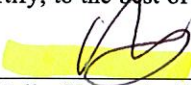

\_\_\_\_ Waived the opportunity to conduct a risk assessment or inspection for the presence of lead-based paint and/or lead-based paint hazards.

## **Agent's Acknowledgment**

(f) Agent has informed the Seller of the Seller's obligations under 42 U.S.C. 4852(d) and is aware of his/her responsibility to ensure compliance.

## **Certification of Accuracy**

The following parties have reviewed the information above and certify, to the best of their knowledge, that the information they have provided is true and accurate.

Buyer	Date	 Seller <b>Vance A. Aloupis</b>	Date
Buyer	Date	Seller	Date
Buyer	Date	Seller	Date
Buyer	Date	Seller	Date
Agent	Date	 Agent <b>Louise Morrison / Michelle Weatherbee</b>	Date

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Aloupis, Vance





**DEED OF DISTRIBUTION BY PERSONAL REPRESENTATIVE (TESTATE)**

**KRISTEN M. ALOUPIS** of Palm Beach Gardens, Florida and **VANCE A. ALOUPIS, SR.** of Bangor, Penobscot County, Maine, duly appointed and acting **Personal Representatives of the ESTATE OF ANGELA Z. ALOUPIS**, deceased, whose will was duly admitted to probate in the Probate Court for Penobscot County, Maine, by the power conferred by law, and every other power (in distribution of the estate) grant to **VANCE A. ALOUPIS** of Bangor, Penobscot County, Maine, whose mailing address is 792 State Street, Bangor, ME 04401, being the person entitled to distribution, the real property in **Surry**, Hancock County, Maine, described as follows:

The lots or parcels of land described in the deed from Eva M. Randall to Angela Z. Aloupis, dated October 1, 1982 and recorded in the Hancock County Registry of Deeds in Book 1446, Page 418, the description therein being incorporated herein by reference, and subject to and with the benefit of those easements, restrictions and conditions set forth therein and appurtenant thereto.

EXCEPTING the property described in the deed from Angela Z. Aloupis to Vance A. Aloupis and Angela Z. Aloupis in their capacity as Trustees of the Angela Z. Aloupis 1995 Trust, dated April 14, 1995 and recorded in said Registry in Book 2399, Page 92.

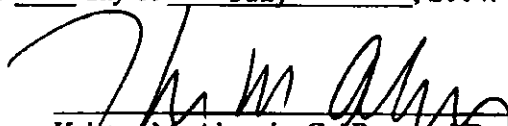
SUBJECT TO the easement granted by Angela Z. Aloupis to Bangor Hydro-Electric Company by the instrument dated October 1, 1982 and recorded in said Registry in Book 1446, Page 421.

ALSO SUBJECT TO the easement granted by Angela Z. Aloupis to New England Telephone and Telegraph Company by the instrument dated June 20, 1984 and recorded in said Registry in Book 1503, Page 410.

Angela Z. Aloupis died testate on February 14, 2014, and Kristen M. Aloupis and Vance A. Aloupis, Sr. (a.k.a., Vance A. Aloupis) were appointed Personal Representatives of her estate by the Penobscot County Probate Court, Docket No. 2014-128. Reference may be had to the Certificate and Abstract recorded in said Registry in Book 6185, Page 13.

IN WITNESS WHEREOF, Kristen M. Aloupis and Vance A. Aloupis, Sr., a.k.a., Vance A. Aloupis, in their capacity as Personal Representatives of the Estate of Angela Z. Aloupis, have hereunto set their hands and seals as of this 16th day of July, 2014.

Witness

  
\_\_\_\_\_  
Kristen M. Aloupis, Co-Personal Representative  
of the Estate of Angela Z. Aloupis

Witness

*Vance A. Aloupis, Sr.*

Vance A. Aloupis, Sr., a.k.a., Vance A. Aloupis,  
Co-Personal Representative of the Estate of  
Angela Z. Aloupis

STATE OF MAINE

Penobscot County

*July 16*, 2014

Personally appeared the above named Vance A. Aloupis, in his capacity as Co-Personal Representative of the Estate of Angela Z. Aloupis, and acknowledged before me the foregoing instrument to be his free act and deed in his said capacity.

*Laurie A. Wilber*

Notary Public/Attorney-at-Law

**SEAL**

Print or type name as signed

Laurie A. Wilber, Notary Public

State of Maine

My Commission Expires 6/30/2021

HANCOCK COUNTY



OR BK 6282 PGS 61 - 62 09/17/2014 10:46:03 AM  
 INSTR # 2014014335 JULIE A. CURTIS  
 HANCOCK COUNTY, ME REGISTER OF DEEDS

**DEED OF DISTRIBUTION BY PERSONAL REPRESENTATIVE (TESTATE)**

**KRISTEN M. ALOUPIS** of Palm Beach Gardens, Florida and **VANCE A. ALOUPIS, SR.** of Bangor, Penobscot County, Maine, duly appointed and acting **Personal Representatives of the ESTATE OF ANGELA Z. ALOUPIS**, deceased, whose will was duly admitted to probate in the Probate Court for Penobscot County, Maine, by the power conferred by law, and every other power (in distribution of the estate) grant to **VANCE A. ALOUPIS** of Bangor, Penobscot County, Maine, whose mailing address is 792 State Street, Bangor, ME 04401, being the person entitled to distribution, the real property in Surry, Hancock County, Maine, described as follows:

Beginning at the high water mark of Union River-Bay and on the northerly line of land described in a deed from Coastal Broadcasting Company, Inc. to Grindstone Broadcasting Corporation, dated June 10, 1975, and recorded in Book 1219, Page 133, at the Hancock County Registry of Deeds; thence North 82° 36' West by and along the northerly line of land of said Grindstone Broadcasting Corporation, forty-seven (47) feet, more or less, to an iron bolt set in the ground; thence continuing the same course (North 82° 36' West) by and along the northerly line of land of said Grindstone Broadcasting Corporation, three hundred eighty-eight and twenty-six hundredths (388.26) feet to an iron bolt set in the ground; thence continuing the same course (North 82° 36' West) thirty-three (33) feet, more or less, to the centerline of the travelled-way of the Newbury Neck Road; thence North 02° 07' West by and along said centerline, one hundred ninety-four and twenty-seven hundredths (194.27) feet to a point that lies North 82° 36' West, twenty-eight and seven tenths (28.7) feet from an iron bolt set in the ground; thence South 82° 36' East by and along the southerly line of land now or formerly of Angela Z. Aloupis, twenty-eight and seven tenths (28.7) feet, more or less, to said iron bolt, said bolt bears for a tie line North 03° 22' West and one hundred ninety-five and four hundredths (195.04) feet from an iron bolt; thence continuing the same course (South 82° 36' East) by and along the southerly line of land of said Aloupis, five hundred six and forty hundredths (506.40) feet to an iron bolt set in the ground, said bolt being North 30° 29' 45" East and two hundred eight and thirty hundredths (208.30) feet from the first mentioned iron bolt; thence continuing the same course (South 82° 36' East) by and along the southerly line of said Aloupis, thirty (30) feet more or less, to the high water mark of Union River Bay; thence generally southerly by and along said high water mark, two hundred (200) feet, more or less, to the point of beginning and containing 2.3 acres, more or less.

Together with the shore and flats between the sidelines of the above described premises extending to the low water mark of Union River Bay.

That portion of the above described premises contained within the limits of said Newbury Neck Road is subject to the rights of the public.

For source of title, reference may be had to the deed from Vance A. Aloupis and Kristen M. Aloupis, Trustees of the Angela Z. Aloupis 1995 Trust, to Kristen M. Aloupis and Vance A. Aloupis, Personal Representatives of the Estate of Angela Z. Aloupis, dated and recorded substantially herewith. Angela Z. Aloupis died testate on February 14, 2014, and Kristen M. Aloupis and Vance A. Aloupis, Sr. (a.k.a., Vance A. Aloupis) were appointed Personal Representatives of her estate by the Penobscot County Probate Court, Docket No. 2014-128. Reference may be had to the Certificate and Abstract recorded in said Registry in Book 6185, Page 13.

IN WITNESS WHEREOF, Kristen M. Aloupis and Vance A. Aloupis, in their capacity as Personal Representatives of the Estate of Angela Z. Aloupis, have hereunto set their hands and seals as of this 9th day of September, 2014.

*Kristen M. Aloupis* 9/9/2014  
Kristen M. Aloupis, Co-Personal Representative  
of the Estate of Angela Z. Aloupis

*Vance A. Aloupis*  
Vance A. Aloupis, Co-Personal Representative  
of the Estate of Angela Z. Aloupis

Penobscot County

STATE OF MAINE

September 2, 2014

Personally appeared the above named Vance A. Aloupis, in his capacity as Co-Personal Representative of the Estate of Angela Z. Aloupis, and acknowledged before me the foregoing instrument to be his free act and deed in his said capacity.

*Laurie A. Wilber*  
Notary Public/Attorney-at-Law

**SEAL**

Print or type name as signed

Laurie A. Wilber, Notary Public  
State of Maine  
My Commission Expires 6/30/2021

②H2 E/EPB





Map Lot 026-012-A

Account 891

Location 22 CONARY LN

Card 1 Of 2 7/13/2021

SUTTY

Building Style	8 COTTAGE	SF Brmt Living	0	Layout	1 TYPICAL
1.CONV.	5.COLONIAL	Fin Brmt Grade	0 0	1.TYPICAL	4.
2.RANCH	6.SPLIT		0	2.IMADEQ	5.
3.R.RANCH	7.CONTEMP	Heat Type	100%	3.	6.
4.CAPE	8.COTTAGE	1.HWBB	7 ELECTRIC	Attc	9 NONE
Dwelling Units	12.	2.HWCI	5.PWA	1.1/4 FIN	4.FULL FIN
Other Units	1	3.H PUMP	6.GRAVWA	2.1/2 FIN	5.FL/STAIR
Stories	0	4.RADIANT	7.ELECTRIC	3.3/4 FIN	6.
1.1	1 ONE STORY	5.FL/WALL	11.	Insulation	1 FULL
2.2	4.1.5 7.3.5	6.RADIANT	12.	1.FULL	4.MINIMAL
3.3	5.1.75 8.4	7.ELECTRIC		2.HEAVY	5.
Exterior Walls	2 VINYL/ALUMINUM	8.FL/WALL		3.CAPPED	6.
1.WOOD	5.SHINGLE	9.FL/WALL		Unfinished %	0%
2.VINYL	6.RB/STN	10.FL/WALL		Grade & Factor	2 D 110%
3.COMPOS.	7.SINGLE	11.FL/WALL		1E GRADE	4B GRADE
4.ASBESTOS	8.CONCRETE	12.FL/WALL		2.D GRADE	5.A GRADE
Roof Surface	1 ASPHALT SHINGLES			3.C GRADE	6.AA GRADE
1.ASPHALT	4.COMPOSIT	Bath(s) Style	2 TYPICAL BATH(S)	SQFT (Footprint)	720
2.SLATE	5.WOOD	1.MODERN	4.OBSOLETE	Condition	5 ABOVE AVERAGE
3.METAL	6.OTHER	2.TYPICAL	5.NONE	1.POOR	4.AVG
SF Masonry Trim	0	3.OLD TYPE	6.	2.FAIR	5.AVG+
# Bedrooms	0	# Rooms	0	3.AVG-	6.GOOD
# Full Baths	1	# Bedrooms	0	Phys. % Good	0%
# Half Baths	0	# Full Baths	1	Func. % Good	100%
Year Remodeled	0	# Addn Fixtures	0	Functional Code	9 NONE
Foundation	5 CONCRETE SLAB	# Fireplaces	0	1.INCOMP	4.PL/HT
1.CONCRETE	4.WOOD			2.OVERBLT	5.
2.C BLOCK	5.SLAB			3.STYLE	6.
3.BRY/STONE	6.PIERS			Econ. % Good	100%
Basement	6 NO BASEMENT			Economic Code	NONE
1.1/4 BMT	4.FULL BMT			0.NONE	3.NO POWER
2.1/2 BMT	5.NONE			1.LOCATION	9.NONE
3.3/4 BMT	6.NONE			2.ENROACH	6.
Brrt Car # Cars	0			Entrance Code	4 UNOCCUPIED
Wet Basement	9 NO BASEMENT			1.INTERIOR	4.VACANT
1.DRY	4.DIRT FLR			2.REFUSAL	5.ESTIMATE
2.DAMP	5.			3.INFORMED	6.
3.WET	6.			Information Code	5 ESTIMATE
				1.OWNER	4.AGENT
				2.RELATIVE	5.ESTIMATE
				3.TENANT	6.OTHER

Date Inspected 8/01/2002

**Additions, Outbuildings & Improvements**

Type	Year	Units	Grade	Cond	Phys.	Func.	Sound Value
21 OPEN FRAME	2016	100	2 100	4	0	100 %	1.ONE STORY FRAM 2.TWO STORY FRAM 3.THREE STORY FR 4.1 & 1/2 STORY 5.1 & 3/4 STORY 6.2 & 1/2 STORY 21.OPEN FRAME POR 22.ENCL PCH/1SRK 23.FRAME GARAGE 24.FRAME SHED 25.FRAME BAY WIND 26.15FR OVERHANG 27.JUNFTN BASEMENT 28.JUNF ATTIC/LOFT 29.FINISHED ATTIC



ALOUPIS, VANCE A  
792 STATE STREET  
BANGOR ME 04401

B6282P61

Previous Owner  
ALOUPIS, ANGELA Z, ESTATE OF  
C/O KRISTEN ALOUPIS & VANCE A ALOUPIS (P.R.S)  
792 State Street  
BANGOR ME 04401  
Sale Date: 9/09/2014

Previous Owner

ALOUPIS, ANGELA Z, 1995 TRUST  
C/O KRISTEN M. & ANGELA Z. TRUSTEES  
792 State Street  
BANGOR ME 04401  
Sale Date: 9/09/2014

<b>Property Data</b>	
Neighborhood	13 NEIGHBORHOOD 13
Tree Growth Year	0
X Coordinate	0
Y Coordinate	0
Zone/Land Use	48 SHORELAND
Secondary Zone	
Topography	2 ROLLING 7 ROUGH

1.LEVEL	4.BELOW ST	7.ROUGH
2.ROLLING	5.LOW	8.
3.ABOVE ST	6.SWAMPY	9.
Utilities	9 NONE	
1.SUMMER	4.DR WELL	7.SEPTIC
2.WATER	5.DUG WELL	8.SPRING
3.SEWER	6.LAKE WTR	9.NONE
Street	1 PAVED	
1.PAVED	4.PROPOSED	7.
2.SEMI IMP	5.	8.
3.GRAVEL	6.	9.NONE
SPRINGWORK YEAR	0	

<b>Sale Data</b>		
Sale Date	9/09/2014	
Price		
Sale Type	1 LAND ONLY	
1.LAND	4.MOBILE	7.
2.L & B	5.OTHER	8.
3.BUILDING	6.	9.

<b>Financing</b>		
1.CONVENT	4.SELLER	7.UNKNOWN
2.HA/VA	5.PRIVATE	8.
3.ASSUMED	6.CASH	9.UNKNOWN

<b>Validity</b>		
1.VALID	4.SPLIT	7.RENOVATE
2.RELATED	5.PARTIAL	8.OTHER
3.DISTRESS	6.EXEMPT	9.

<b>Verified</b>		
1.BUYER	4.AGENT	7.FAMILY
2.SELLER	5.PUB REC	8.OTHER
3.LENDER	6.MLS	9.CONFID

<b>Assessment Record</b>				
Year	Land	Buildings	Exempt	Total
2009	242,300	0	0	242,300
2010	242,300	0	0	242,300
2011	242,300	0	0	242,300
2012	242,300	0	0	242,300
2013	205,900	0	0	205,900
2014	205,900	0	0	205,900
2015	205,900	0	0	205,900
2016	205,900	0	0	205,900
2017	205,900	0	0	205,900
2018	205,900	0	0	205,900
2019	205,900	0	0	205,900
2020	205,900	0	0	205,900
2021	205,900	0	0	205,900
2022	205,900	0	0	205,900

<b>Land Data</b>					
Front Foot	Type	Effective Frontage	Depth	Influence Factor	Influence Code
11.REGULAR LOT				%	1.USE
12.SECONDARY				%	2.R/W
13.EXCESS FRONTAG				%	3.TOPOGRAPHY
14.REAR LAND				%	4.SIZE/SHAPE
15.MISCELLANEOUS				%	5.ACCESS
				%	6.RESTRICTIONS
				%	7.VACANCY
				%	8.SEMI-IMPROVED
				%	9.FRAGMENTAL
				%	30.REAR LAND 3
				%	31.REAR LAND 4
				%	32.PASTURE
				%	33.CROP
				%	34.HORTICUL I
				%	35.HORTICUL II
				%	36.ORCHARD
				%	37.SOFTWOOD
				%	38.MIXED WOOD
				%	39.HARDWOOD
				%	40.WASTE
				%	41.GRAVEL_PIT
				%	42.MOBILE HOME SI
				%	43.CONDO SITE
				%	44.LOT IMPROVEMEN
				%	45.M H HOOK-IP
				%	46.HOLE/SITE

<b>Square Foot</b>		<b>Square Feet</b>	
16.REGULAR LOT			
17.SECONDARY LOT			
18.EXCESS LAND			
19.CONDOMINIUM			
20.MISCELLANEOUS			

<b>Front Foot</b>		<b>Acres/Sites</b>	
21.HOUSE/LOT(FRCT)	25	1.00	7
22.BASE/LOT(FRCT)	99	75	6
23.REAR(FRCT)	28	1.50	0

<b>Acres</b>		<b>Total Acreage</b>	
24.HOUSE/LOT		2.50	
25.BASE/LOT			
26.FRONTAGE 1			
27.FRONTAGE 2			
28.REAR LAND 1			
29.REAR LAND 2			

Surry





# Electric Consumption

Date	Days	Reading	Billed Cons	Cons \$	Avg Daily Cons	Serial No	Register Type
Jun-15-2021	30	2851	38	10.27	1.27	7201927	KWH
May-16-2021	32	2813	28	9.19	0.88	7201927	KWH
Apr-14-2021	32	2785	8	7.04	0.25	7201927	KWH
Mar-13-2021	25	2777		5.13	0	7201927	KWH
Feb-16-2021	29	2777		6.16	0	7201927	KWH
Jan-18-2021	33	2777	1	5.51	0.03	7201927	KWH
Dec-16-2020	34	2776	2	4.71	0.06	7201927	KWH
Nov-12-2020	29	2774	1	4.60	0.03	7201927	KWH
Oct-14-2020	29	2773	11	5.75	0.38	7201927	KWH
Sep-15-2020	29	2762	60	12.20	2.07	7201927	KWH
Aug-17-2020	32	2702	123	21.72	3.84	7201927	KWH
Jul-16-2020	32	2579	43	11.09	1.34	7201927	KWH

22 Conary Ln Surry  
Vance Aloupis MD  
Acct# \_\_\_\_\_

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services  
Division of Environmental Health, SHS 11  
(207) 287-5672 Fax: (207) 287-3165

## PROPERTY LOCATION

City, Town, or Plantation: Surry  
Street or Road: Newbury Neck Rd./Conary Lane  
Subdivision, Lot #: Lot #1 - Randall Subdivision

**CAUTION: PERMIT REQUIRED - ATTACH IN SPACE BELOW**

Town/City: Surry Permit #: 1767  
Date Permit Issued: 6/30/14 Fee: \$ 270.00 Double Fee Charged   
Local Plumbing Inspector Signature: [Signature] L.P.I. #: 1133  
[ Owner ] [ Town ] [ State ]

## OWNER/APPLICANT INFORMATION

Name (last, first, MI): Aloupis, Vance  Owner  Applicant  
Mailing Address of Owner/Applicant: 408 Western Ave. Hampden, ME 04444  
Daytime Tel. #: Tammy 207-356-2647

The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.  
Municipal Tax Map #: 26 Lot #: 12-A

**OWNER OR APPLICANT STATEMENT**  
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.  
Signature of Owner or Applicant: [Signature] Date: 7/29/14

**CAUTION: INSPECTION REQUIRED**  
I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.  
Local Plumbing Inspector Signature: \_\_\_\_\_ (1st) date approved: \_\_\_\_\_  
\_\_\_\_\_ (2nd) date approved: \_\_\_\_\_

## PERMIT INFORMATION

**TYPE OF APPLICATION**  
 1. First Time System  
 2. Replacement System  
Type replaced: Metal Tank  
Year installed: 1970 +/-  
 3. Expanded System  
 a. <25% Expansion  
 b. ≥25% Expansion  
 4. Experimental System  
 5. Seasonal Conversion

**THIS APPLICATION REQUIRES**  
 1. No Rule Variance  
 2. First Time System Variance  
 a. Local Plumbing Inspector Approval  
 b. State & Local Plumbing Inspector  
 3. Replacement System Variance  
 a. Local Plumbing Inspector Approval  
 b. State & Local Plumbing Inspector  
 4. Minimum Lot Size Variance  
 5. Seasonal Conversion Permit

**DISPOSAL SYSTEM COMPONENTS**  
 1. Complete Non-engineered System  
 2. Primitive System (graywater & alt. toilet)  
 3. Alternative Toilet, specify: \_\_\_\_\_  
 4. Non-engineered Treatment Tank (only)  
 5. Holding Tank, \_\_\_\_\_ gallons  
 6. Non-engineered Disposal Field (only)  
 7. Separated Laundry System  
 8. Complete Engineered System (2000 gpd or more)  
 9. Engineered Treatment Tank (only)  
 10. Engineered Disposal Field (only)  
 11. Pre-treatment, specify: \_\_\_\_\_  
 12. Miscellaneous Components

**EXISTING TYPE OF WATER SUPPLY**  
 1. Drilled Well  2. Dug Well  3. Private  
 4. Public  5. Other

## DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

**TREATMENT TANK**  
 1. Concrete  
 a. Regular  
 b. Low Profile  
 2. Plastic w/ PL-122 Filter  
 3. Other: \_\_\_\_\_  
CAPACITY: 1000 GAL

**DISPOSAL FIELD TYPE & SIZE**  
 1. Stone Bed  2. Stone Trench  
 3. Proprietary Device BioDiffusers  
 a. cluster array  c. Linear  
 b. regular load  d. H-20 load  
 4. Other: \_\_\_\_\_  
SIZE: 1107 sq. ft.  sq. ft.  lin. ft.

**GARBAGE DISPOSAL UNIT**  
 1. No  2. Yes  3. Maybe  
If Yes of Maybe, specify one below:  
 a. multi-compartment tank  
 b. \_\_\_\_\_ tanks in series  
 c. Increase in tank capacity  
 d. Filter on Tank Outlet

**DESIGN FLOW**  
360 gallons per day  
BASED ON:  
 1. Table 4A (dwelling unit(s))  
 2. Table 4C (other facilities)  
SHOW CALCULATIONS  
— for other facilities —  
Two - 2BR Dwellings

**SOIL DATA**  
PROFILE CONDITION: 3 / C  
at Observation Hole #: TP-1  
Depth: 18"  
of Most Limiting Soil Factor: Mottling

**DISPOSAL FIELD SIZING**  
 1. Medium—2.6 sq. ft. / gpd  
 2. Medium—Large 3.3 sq. ft. / gpd  
 3. Large—4.1 sq. ft. / gpd  
 4. Extra Large—5.0 sq. ft. / gpd

**EFFLUENT/EJECTOR PUMP**  
 1. Not Required  
 2. May Be Required  
 3. Required  
Specify only for engineered systems:  
DOSE: \_\_\_\_\_

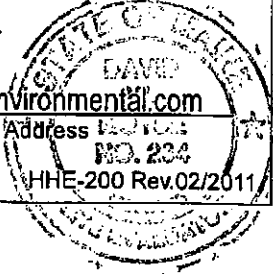
**ATTACH WATER METER DATA**  
**LATITUDE AND LONGITUDE**  
at center of disposal area  
Lat. 044 d 28' m 05.30"s  
Lon. 068 d 28' m 12.81"s  
if g.p.s. state margin of error: \_\_\_\_\_

## SITE EVALUATOR STATEMENT

I certify that on 05-13-14 (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).

Site Evaluator Signature: [Signature] SE #: 264 Date: 5-27-14  
DAVID W. MOYSE (207) 945-6179 dave@moysenenvironmental.com  
Site Evaluator Name Printed Telephone Number Email Address

Note: Changes to or deviations from the design should be confirmed with the Site Evaluator.



**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Maine Dept. of Health & Human Services  
 Division of Environmental Health, 6115 11  
 (207) 287-5672 Fax: (207) 287-3163

Town, City, Plantation  
Gumy, Maine

Street, Road, Subdivision  
Newbury Neck Road / Conary Lane

Owner or Applicant Name  
Vance Alouplis

**SITE PLAN**

**SITE LOCATION PLAN**

SEE  
 MAP  
 ATTACHED

\* SEE SITE PLAN ATTACHED

#105 2 S JUL

**SOIL PROFILE DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)**

Observation Hole # TP1  Test  Boring  
 Pit  
0.5 " Depth of organic horizon above mineral soil

Observation Hole # B-1  Test  Boring  
 Pit  
0.5 " Depth of organic horizon above mineral soil

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0	FINE		DARK BROWN	
6	SANDY LOAM	FRIABLE	STRONG BROWN	NONE
12			YELLOWISH BROWN	
18	GRAVELLY LOAM	FIRM TO VERY FIRM	LIGHT OLIVE BROWN	COMMON FAINT
24				DISTINCT
30				
36				
42				
48				

Depth below mineral soil surface (inches)	Texture	Consistency	Color	Mottling
0				
6				
12				
18				
24				
30				
36				
42				
48				

Soil Profile 3 Classification C Slope Percent 13 Limiting Factor 18  Groundwater Restrictive Layer  Bedrock

Soil Profile 3 Classification C Slope Percent 10 Limiting Factor 20  Groundwater Restrictive Layer  Bedrock

[Signature]  
 Site Evaluator Signature

264  
 SE #

5-27-14  
 Date

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Town, City, Plantation  
 Surry, Maine

Street, Road, Subdivision  
 Newbury Neck Road / Conary Lane

Owner or Applicant Name

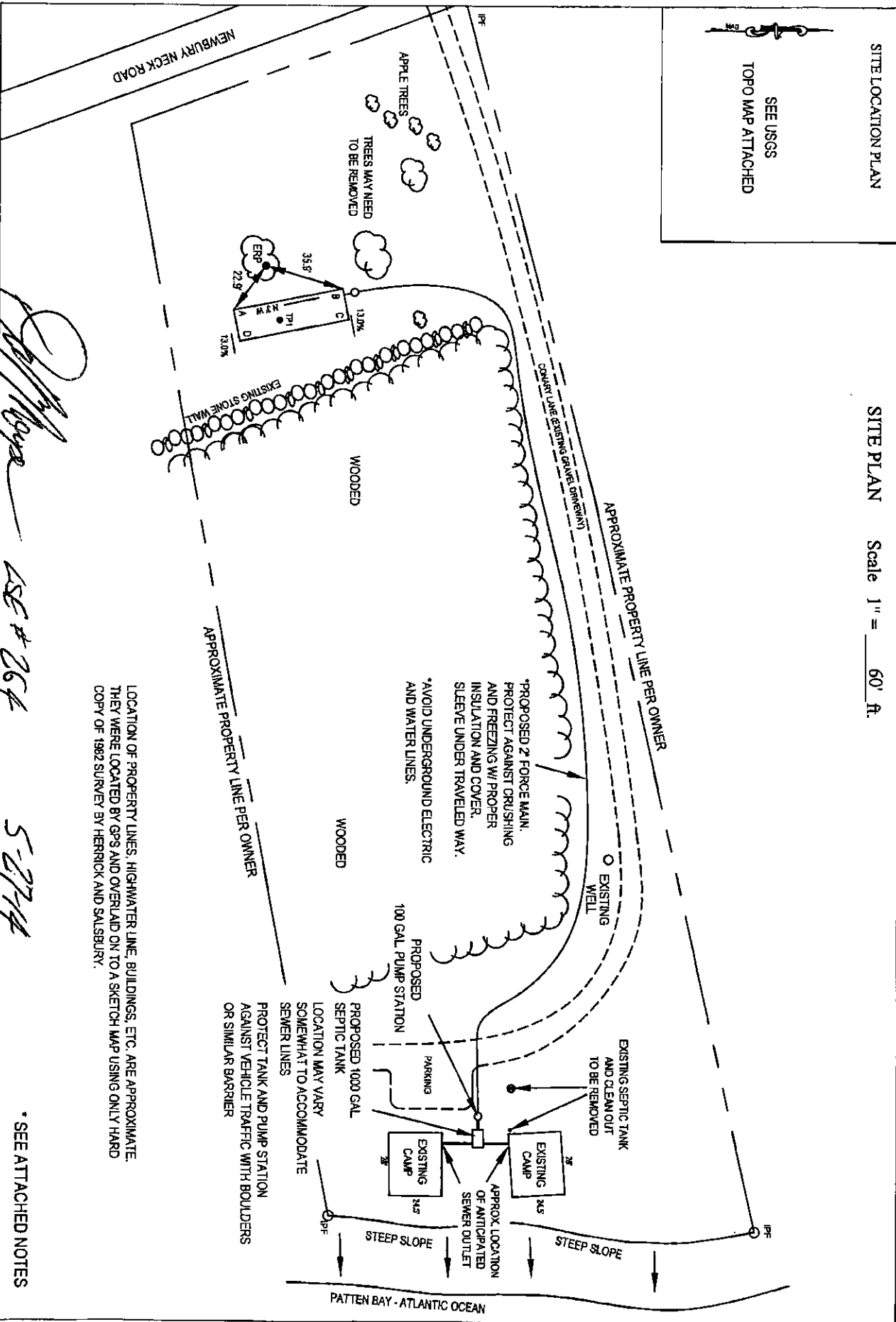
Vance Alopis

Maine Dept. of Health & Human Services  
 Division of Environmental Health, SHE 11  
 (207) 287-5672 Fax: (207) 287-2165

SITE LOCATION PLAN

SITE PLAN Scale 1" = 60' ft.

SEE USGS  
 TOPO MAP ATTACHED



\*PROPOSED 2" FORCE MAIN.  
 PROTECT AGAINST CRUSHING  
 AND FREEZING W/ PROPER  
 INSULATION AND COVER,  
 SLEEVE UNDER TRAVELED WAY.  
 \*AVOID UNDERGROUND ELECTRIC  
 AND WATER LINES.

PROTECT TANK AND PUMP STATION  
 AGAINST VEHICLE TRAFFIC WITH BOULDERS  
 OR SIMILAR BARRIER  
 LOCATION MAY VARY  
 SOMEWHAT TO ACCOMMODATE  
 SEWER LINES

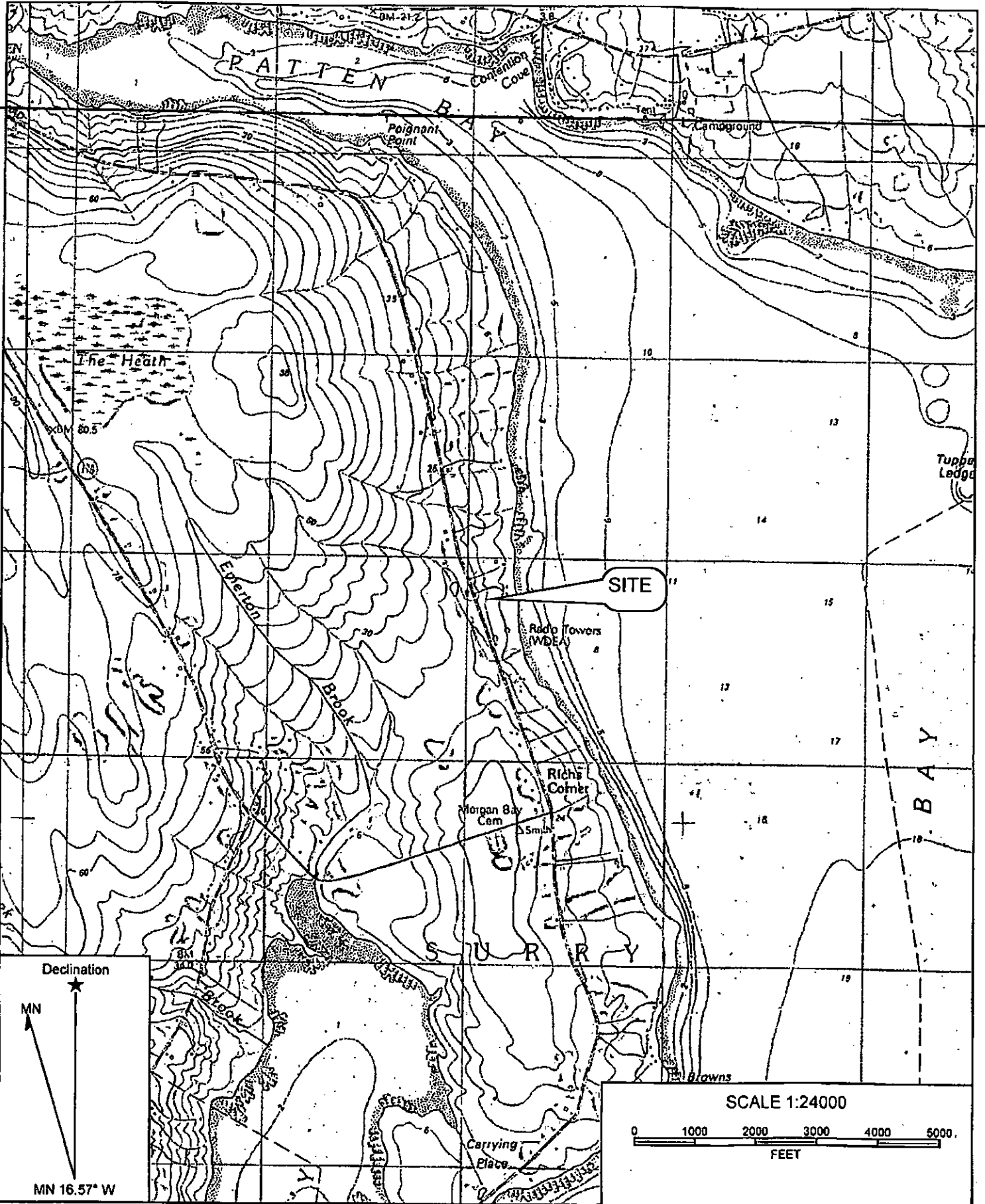
LOCATION OF PROPERTY LINES, HIGHWATER LINE, BUILDINGS, ETC. ARE APPROXIMATE.  
 THEY WERE LOCATED BY GPS AND OVERLAID ON TO A SKETCH MAP USING ONLY HAND  
 COPY OF 1992 SURVEY BY HERRICK AND SALSBUURY.

\* SEE ATTACHED NOTES

*[Handwritten Signature]*

USE # 264

5-27-14



Name: NEWBURY NECK  
 Date: 05/27/14  
 Scale: 1 inch = 2,000 ft.

Location: 044° 28' 05.30" N, 068° 28' 12.81" W  
 Caption: Vance Aloupis Septic  
 Lot #1 - Randell Subdivision

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. of Health & Human Services  
 Division of Environmental Health, SMS 11  
 (207) 287-5672 Fax: (207) 287-3165

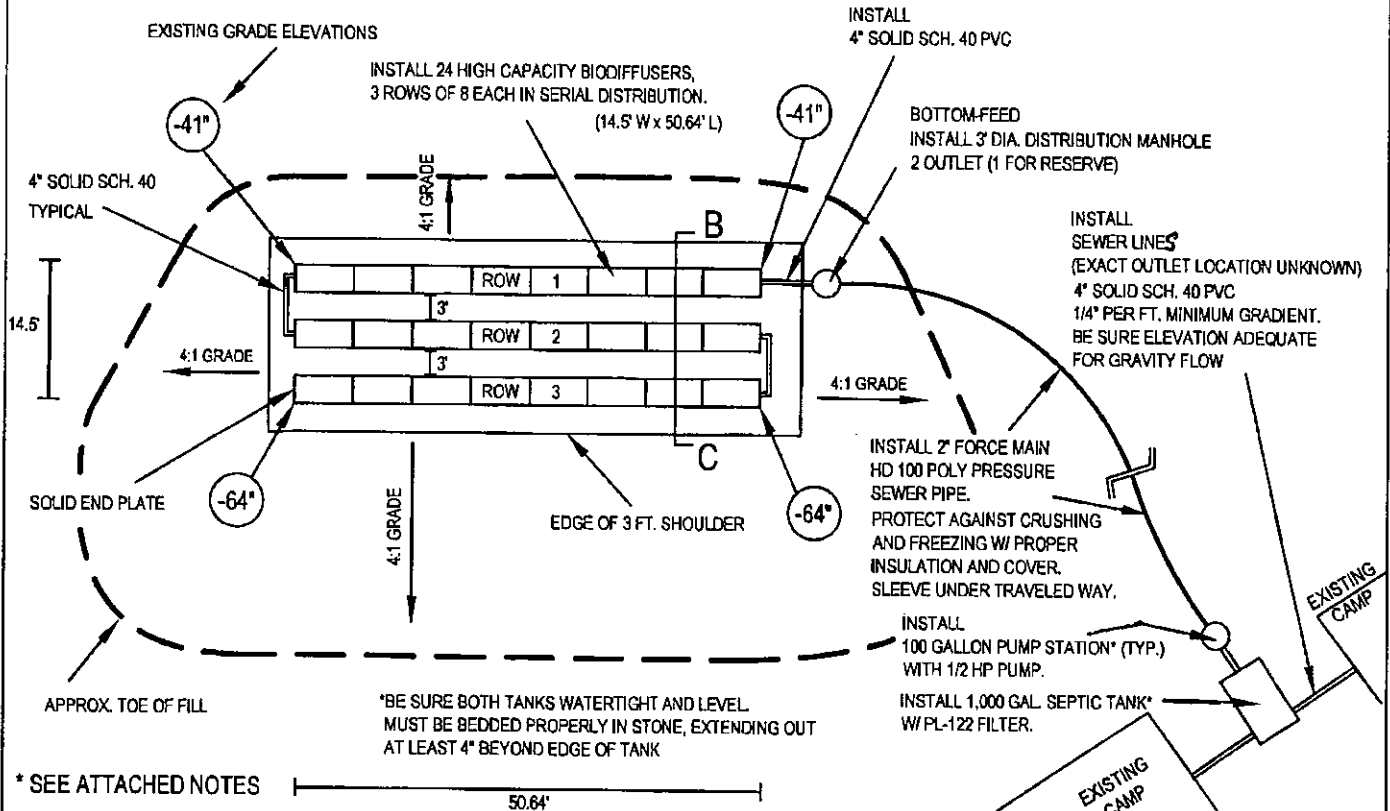
Town, City, Plantation  
**Surry, Maine**

Street, Road, Subdivision  
**Newbury Neck Road / Conary Lane**

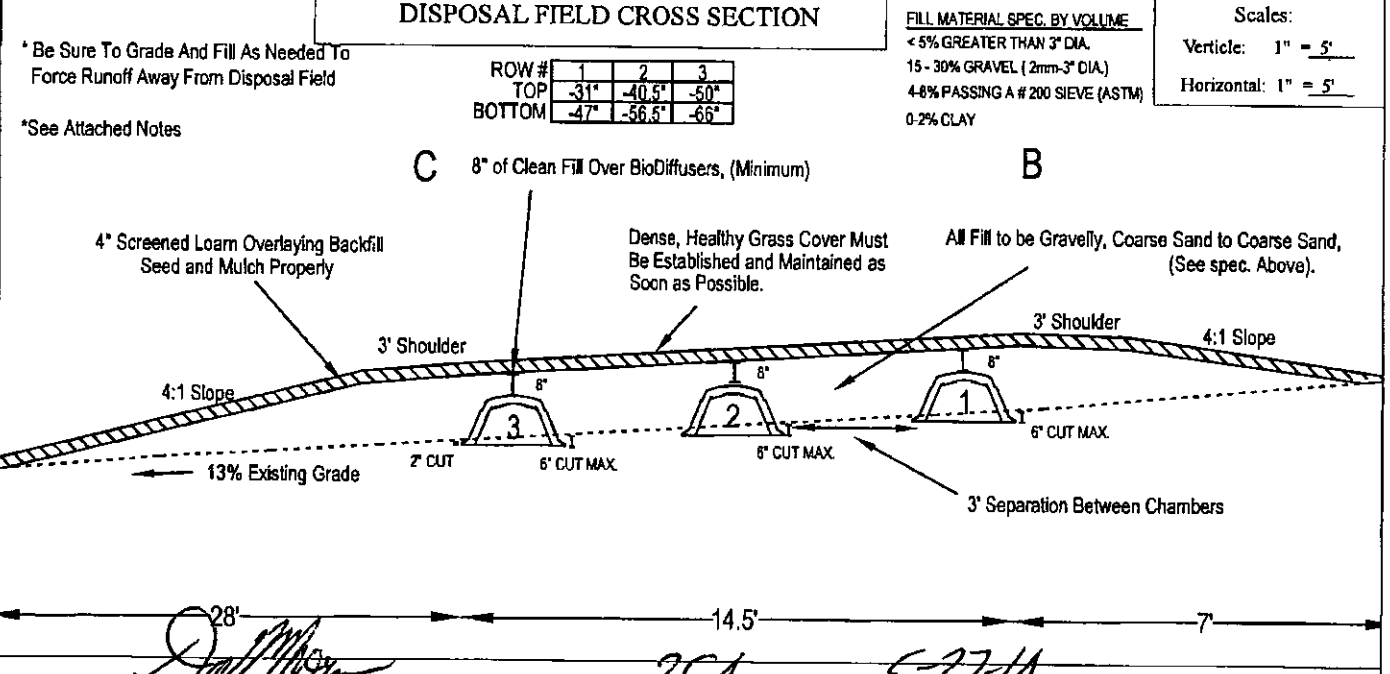
Owner or Applicant Name  
**Vance Aloupis**

## SUBSURFACE WASTEWATER DISPOSAL PLAN

Scale: 1" = 20 ft



BACKFILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		ELEVATION REFERENCE POINT	
Depth of Backfill (upslope)	22"	ERP	0	Location & Description:	Nail in Orange Flagging
Depth of Backfill (downslope)	26"	Finished Grade Elevation (at Row 1)	-19"		10' Up On 19" DBH Tamarack Tree Near Center of Field
		Top of Biofilters (at Row 1)	-31"		
		Bottom of Disposal Field (at Row 1)	-47"		



*[Signature]*  
 Site Evaluator Signature

264  
 SE #

5-27-14  
 Date

**DISPOSAL AREA NOTES**

1. ANY OTHER PERMIT APPLICATIONS OR NOTIFICATIONS NEEDED PRIOR TO THE INSTALLATION OF THIS SYSTEM, OR ANY RELATED DISTURBANCE IS THE RESPONSIBILITY OF THE OWNER/APPLICANT.
2. ONLY COMPETENT, EXPERIENCED PROFESSIONALS SHOULD INSTALL WASTEWATER DISPOSAL SYSTEMS.
3. DISPOSAL SYSTEM TO BE A MINIMUM OF 100' FROM WELLS, AND 20' MINIMUM FROM DWELLINGS WITH BASEMENTS AND 15' MINIMUM FROM DWELLINGS WITHOUT BASEMENTS.
4. SEPTIC TANK TO BE A MINIMUM OF 100' FROM WELLS AND A MINIMUM OF 8' FROM DWELLINGS. THE OWNER'S WELL MAY BE A CLOSE AS 50' TO THE TANK IF THE TANK IS OF MONOLITHIC CONSTRUCTION OR IF THE TANK IS TESTED BY THE TOWN LPI FOR WATERTIGHTNESS.
5. PROTECT ALL SYSTEM COMPONENTS AGAINST SETTLEMENT, CRUSHING AND FREEZING WITH ADEQUATE BEDDING, FILL COVER AND INSULATION.
6. SEAL ALL PIPE JOINTS AND SEAMS ON SYSTEM COMPONENTS, INCLUDING RISERS AND COVERS, TO PREVENT WATER ENTRY.
7. RISERS WITH COVERS ARE RECOMMENDED FOR ALL SEPTIC TANK ACCESS PORTS, AND PUMP STATIONS, TO PROVIDE PROPER ACCESS FOR INSPECTIONS AND MAINTENANCE.
8. FINISHED GRADE OF DISPOSAL SYSTEM, AND ALL ADJACENT DISTURBED AREAS DUE TO THE SYSTEM'S INSTALLATION, SHALL BE SEEDED, FERTILIZED, LIMED AND MULCHED WITH STRAW TO PREVENT EROSION. A MINIMUM OF 4" OFG TOPSOIL COVER IS TYPICALLY NECESSARY TO PROMOTE AND SUSTAIN A HEALTHY GRASS VEGETATION COVER (NO WOODY PLANTS ALLOWED).
9. REFER TO NOTES ATTACHED FOR ADDITIONAL GUIDANCE.



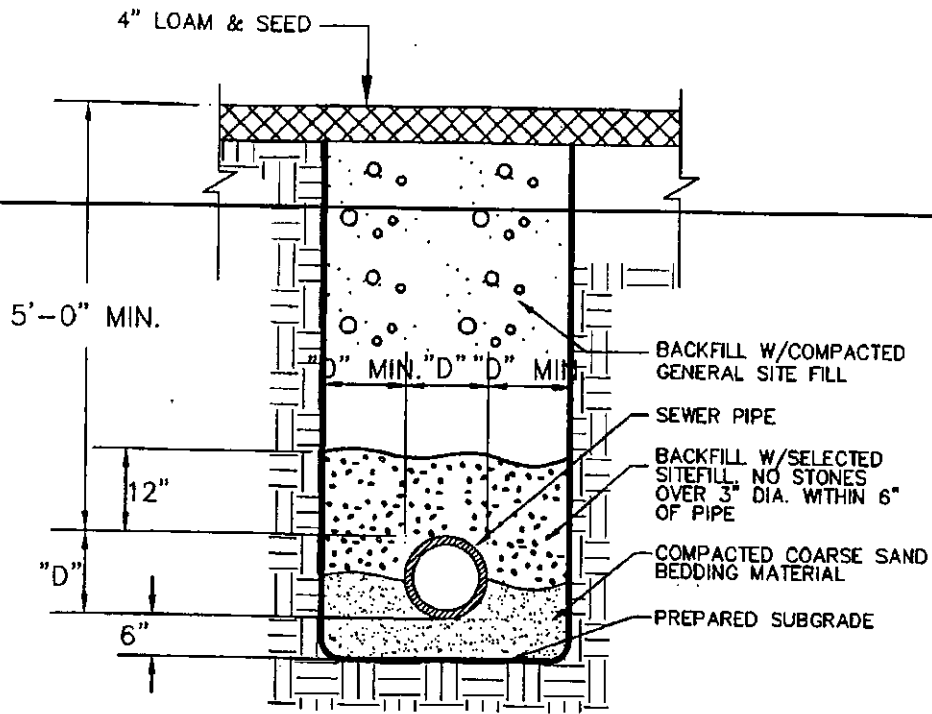
05-27-14

**CROSS SECTION NOTES**

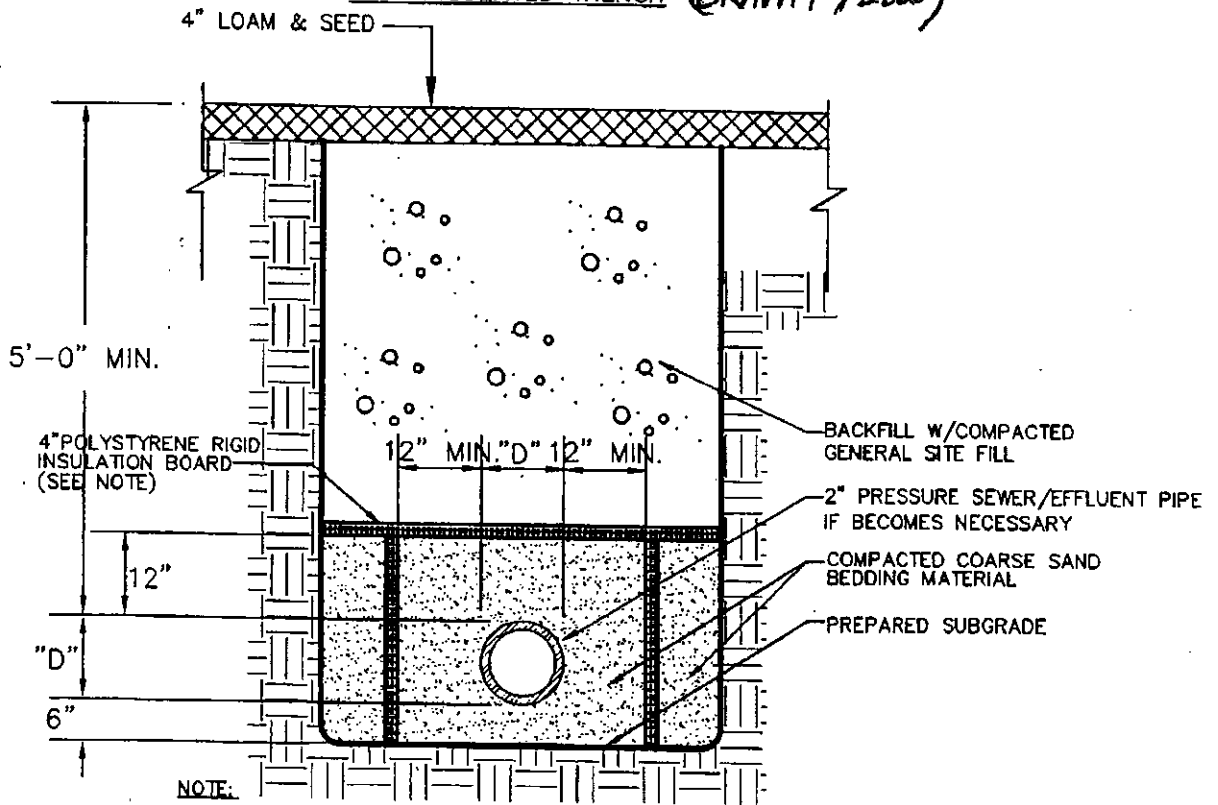
1. **NO WORK SHOULD BE DONE ON DISPOSAL FIELD CONSTRUCTION WHEN THE SOIL OR FILL IS WET OR FROZEN.**
2. **REMOVE VEGETATION (INCLUDING ROOTS AND TURF CLUMPS) AND SCARIFY ORIGINAL SOIL UNDER ENTIRE DISPOSAL FIELD, INCLUDING FILL EXTENSIONS.**
3. **NO HEAVY TIRE EQUIPMENT SHOULD BE USED WITHIN DISPOSAL FIELD AREA, AT ANY TIME.**
4. **BOTTOM OF SYSTEM TO BE LEVEL WITH A MAXIMUM GRADE TOLERANCE OF 2" PER 100'**
5. **ROTO-TILL AND HAND RAKE OUT ANY COMPACTED OR SMEARED AREAS PRIOR TO PLACEMENT OF STONE, FILL, CHAMBER OR OTHER DISPOSAL FIELD COMPONENT.**
6. **A MINIMUM OF 4 INCHES OF FILL MATERIAL IS TO BE MIXED THOROUGHLY IN TO ORIGINAL SOIL BY DISKING OR ROTO-TILLING TO CREATE A TRANSITION LAYER. DO NOT USE A BACKHOE BUCKET OR SIMLAR MEANS AS IT CREATES SOIL COMPACTION AND SMEARING THAT IS UNACCEPTABLE.**
7. **PLACE AND COMPACT ADDITONAL FILL THAT IS NEEDED IN 8" LIFTS USING A SMALL TRAC MACHINE, (i.e. SMALL BULLDOZER, NOT A COMPACTOR OR TIRE EQUIPMENT )**
8. **PROVIDE FOR SURFACE DRAINAGE AWAY FROM ENTIRE DISPOSAL AREA WITH PROPER FINISH GRADING. ADDITIONAL FILL AND POSSIBLY A SURFACE DIVERSION MAY BE NECESSARY TO ACHIEVE THIS, AND TO BLEND FINISH GRADE WITH EXISTING GRADES FOR AESTHETIC PURPOSES (CONFIRM SATISFACTORY WITH OWNER).**
9. **SEE ADDITIONAL NOTES ATTACHED.**

CONSTRUCTION GUIDELINES FOR YOUR  
SUBSURFACE WASTEWATER DISPOSAL SYSTEM

- A permit for the installation and use of a system is valid only for the named applicant and is not transferrable.
- A permit shall become void if construction of system has not been started within 24 months from the date of issue.
- No system shall be used until it has been inspected by the Local Plumbing Inspector and he has issued a certificate of approval.
- The system shall be located, installed, and constructed by a qualified professional according to a licensed site evaluator's approved design.
- All system components shall be protected, as necessary, against crushing, freezing and frost action with adequate fill cover and insulation (particularly the pipe lines, septic tank, and distribution box).
- The septic tank shall be installed in a manner to prevent its floatation and prevent the entrance of surface or ground water.
- Care should be taken to avoid binding or kinking the wastewater pipe, particularly where it enters and exits the septic tank.
- Gravity effluent pipe line shall be installed with a minimum pitch of  $1/8$  inch per foot.
- Vegetation and the organic layer of the soil shall be removed and the soil surface scarified within the proposed disposal area, and its associated fill extensions.
- Fill used for the system shall be free of foreign material, excessive soil fines, and coarse fragments. It shall be placed in 8 inch lifts and compacted. The fill shall be a *Coarse* sandy loam texture or coarser, depending on the disposal area type and the site evaluator's professional judgement.
- Any crushed stone used in the system shall be clean and conform to the Plumbing Code's standard specifications.
- Finish grade of the backfill over the disposal field shall



NON-INSULATED TRENCH (GRAVITY FLOW)



NOTE:  
 INSTALL 4" INSULATION BOARD WITH 4'-5' OF COVER  
 WHEN INSTALLED PROPERLY, 2" OF INSULATION BOARD IS  
 EQUAL TO ABOUT 1.5' OF COVER. ASSUME 7' FROST DEPTH.

INSULATED TRENCH (PRESSURE, FORCE MAIN)

**SANITARY SEWER TRENCH DETAIL**

N.T.S.



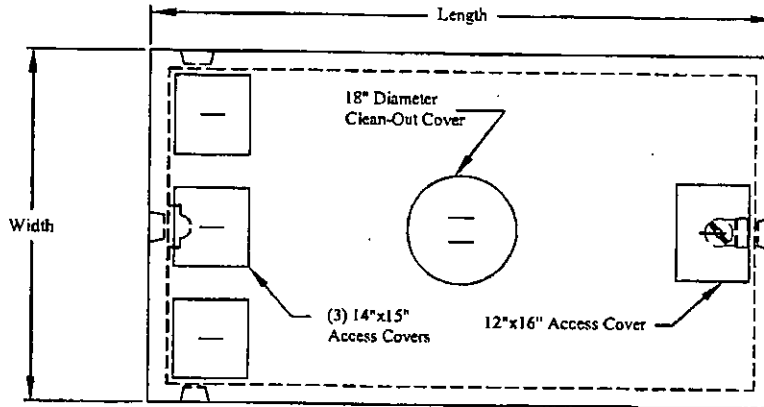
# Gagne Precast

## CONCRETE PRODUCTS

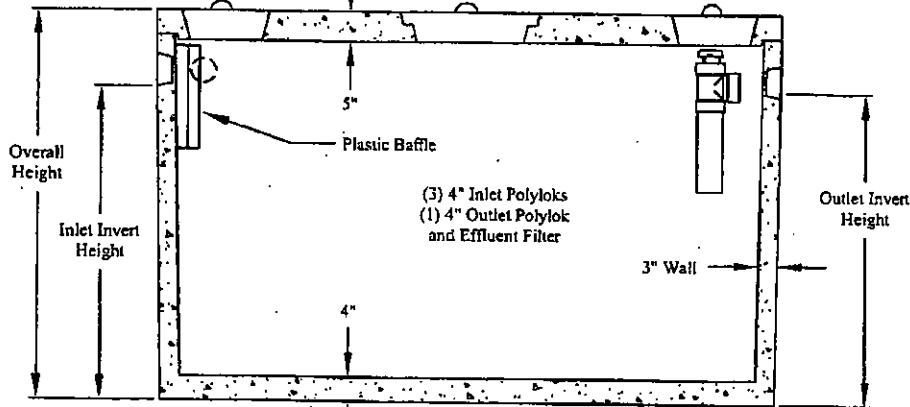
~ Service and Quality ~

### RESIDENTIAL SEPTIC TANK

**TYP.**



PLAN VIEW



SECTION

Capacity	Type	Length	Width	Height	Inlet	Outlet	REG. Item #	H.D. Item #	Weight
750 Gal.	1 Piece	8'-5"	4'-9"	4'-1"	3'-2"	2'-11"	20020	20030	7,700 lbs.
1,000 Gal.	1 Piece	8'-6"	4'-10"	5'-4"	4'-6"	4'-3"	20170	20180	8,700 lbs.
1,000 Gal.	Low Boy	10'-5 1/2"	6'-3"	4'-1"	3'-1"	2'-10"	20221	20231	11,000 lbs.
1,500 Gal.	1 Piece	10'-5"	6'-2 1/2"	5'-6"	4'-6"	4'-3"	20590	20600	12,900 lbs.
2,000 Gal.	1 Piece	10'-5 1/2"	6'-3"	6'-3"	5'-4"	5'-1"	20740	20750	15,000 lbs.

**DESIGN NOTES:**

- 1) Regular and Heavy Duty Tanks are suitable for installation in NON-Traffic areas up to burial depths of 3 feet and 5 feet, respectively.
- 2) Concrete Mix Design is 4,000 PSI standard at 28 days, Type 3 Cement.
- 3) Reinforcing Steel, ASTM A 615, Grade 60
- 4) Ship lap joint sealed with butyl sealant.
- 5) All covers provided with pencil rod handles or lift loops
- 6) The plastic baffles for this tank can be moved to any of the Inlets.
- 7) The covers on the outlet end of the tank are sized to accept an Effluent Filter.
- 8) POLYLOK PIPE SEALS standard at all pipe penetrations.

A:\Gagne Tim\Gagne Catalog\Section A\Spec 1 PC.DWG 031504

HARDSCAPE PRODUCTS • CONSTRUCTION SUPPLIES • CONCRETE BLOCKS • PRECAST PRODUCTS

270 Riverside Drive  
Auburn, ME 04210  
1-800-339-1132

RR 1 Box 85  
Belgrade, ME 04917  
1-800-339-3313

1506 State Street  
Veazie, ME 04401  
1-800-649-7393

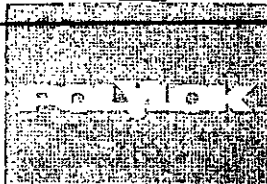
70 Warren Avenue  
Westbrook, ME 04902  
1-800-339-9184

[www.gagneprecast.com](http://www.gagneprecast.com)

Made in the U.S.A.

Polylok Inc. 3 Fairfield Blvd, Wallingford, CT 06482 Call Toll Free: 888-765-9565 Email: polylok.com

You are Here: Home > Product Details



# EFFLUENT FILTERS

Raising the bar in filter technology

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NEW ACCOUNT APPLICATION

**PRODUCTS BY POLYLOK**

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[Extend & Lok™](#)

[Risers](#)

[Distribution Boxes and Accessories](#)

[Pumps, Basins, Pump Stations and Step Systems](#)

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[Baffles, Sanitary Tees & Gas Deflectors](#)

[Rebar Spacers](#)

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[Concrete Accessories](#)

[Pressure Filters](#)

[Filter and Onsite Accessories](#)

[Rebar-Lok and CMU Accessories](#)

[Technical Specifications](#)

**Related Products**

Baffle and Filter Ready Seal System (Accepts 2", 3", 4" & Corrugated Pipe)  
Polylok Baffle

**Promotions**

PL-122 Effluent Filter  
Poly IV High Pressure Boot Seal (Accepts 4" Pipe)  
Riser Safety Screen 20" and 24"

**New Products**

Onsite Diffuser  
Pre-assembled Pump Basin  
Riser Safety Screen 20" and 24"



Enlarge for details



**PL-122 Effluent Filter**

*Residential (Typ)*

**Description**

The PL-122 was the first filter developed by Polylok. The biggest advantage of this filter is that it has an automatic shut off ball built into every filter. When the filter is removed for regular cleaning, the ball will float up and temporarily shut off the system so the effluent won't leave the tank. To this day, no other manufacturer can make that claim. It is also rated for 1,500 GPD (Gallons Per Day) and is NSF approved.

[Ordering Information](#) [Request a Quote](#) [Related Products](#)

**Features**

- Offers over 122 linear feet of 1/16th inch filter slots
- Has a flow control ball that shuts off the flow of effluent when the filter is removed for cleanings
- Has its own gas deflector ball which deflects solids away
- Installs easily in new tanks, or retrofits in existing systems
- Comes complete with its own housing; no gluing of tees or pipe
- Rated for 1,500 GPD
- Has a modular design allowing for increased filtration
- Accepts 3" and 4" SCHD 40 and SDR 35 Pipe

The PL-122 Effluent Filter should operate efficiently for several years under normal conditions before requiring cleaning. It is recommended that the filter be cleaned every time the tank is pumped or at least every three years. If the installed filter contains an optional alarm, the owner will be notified by an alarm when the filter needs servicing. Servicing should be done by a certified septic tank pumper or installer.

**Maintenance instructions:**

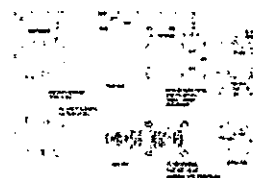
1. Locate the outlet of the septic tank.
2. Remove tank cover and pump tank if necessary.
3. Do not use plumbing when cleaning filter.
4. Pull PL-122 out of the housing.
5. Hose off filter over the septic tank. Make sure all solids fall back into septic tank.
6. Insert the filter cartridge back into the housing making sure the filter is properly aligned and completely inserted.
7. Replace septic tank cover. PL-122 Installation: Ideal for residential and commercial waste flows up to 1,500 Gallons Per Day (GPD).

**Installation instructions:**

1. Locate the outlet of the septic tank.
2. Remove tank cover and pump tank if necessary.
3. Glue the filter housing to the 4" or 6" outlet pipe. If the filter is not centered under the access opening use a Polylok Extend & Lok™ or piece of pipe to center filter.
4. Insert the PL-122 filter into its housing.
5. Replace the septic tank cover.

Contact Us for Pricing 888-765-9565

[Technical Specifications](#) [Get Acrobat Reader](#) [Download CAD Drawings](#)



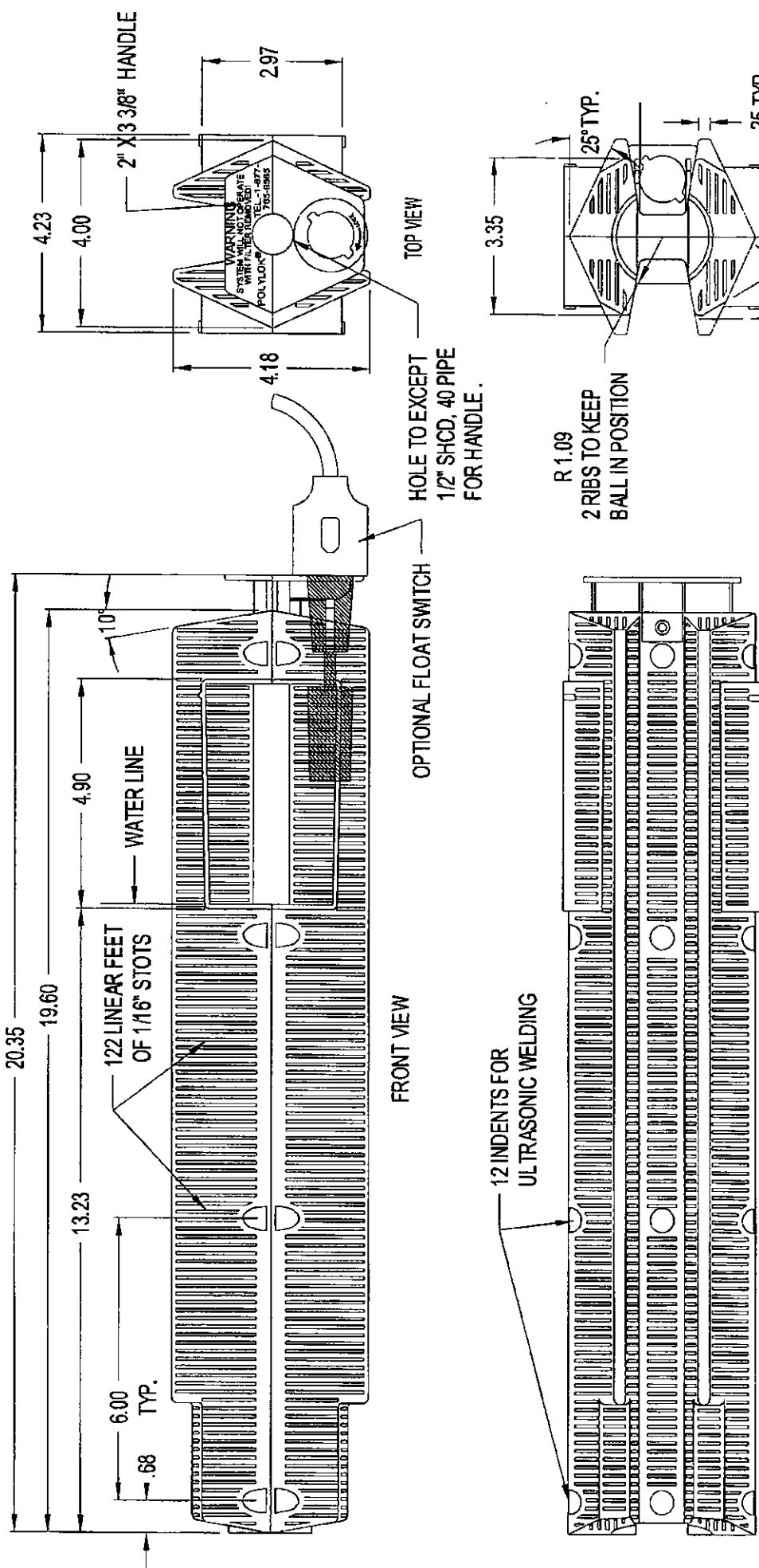
DOWNLOAD PL-122 Housing



DOWNLOAD PL-122 Cartridge



DOWNLOAD PL-122 Pipe Adapter



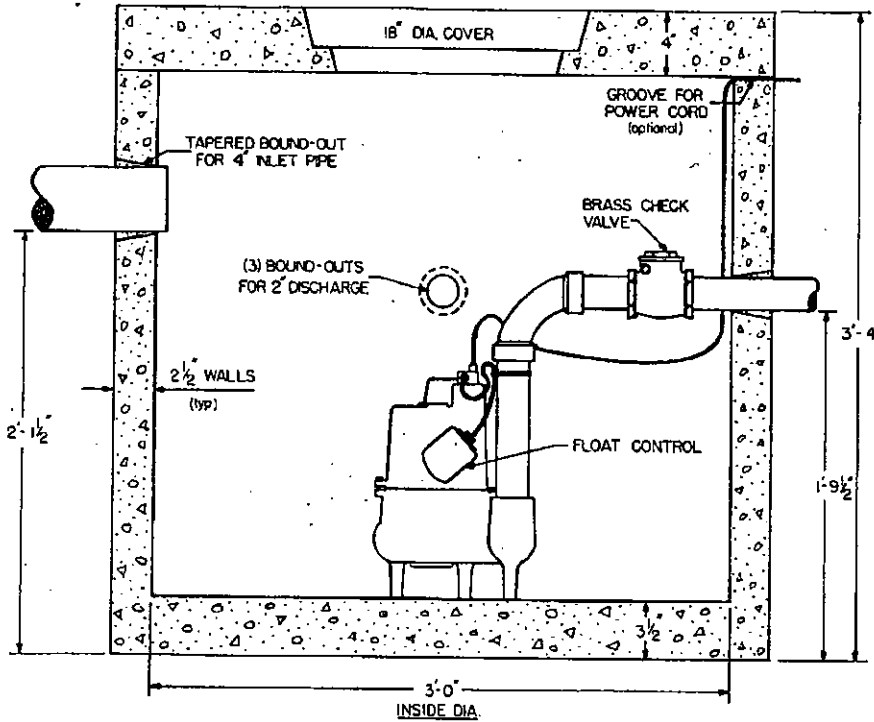
PL-122 FILTER CARTRIDGE  
 PART NO. - 30141  
 MATERIAL - POLYPROPYLENE

# EXAMPLE DETAIL



American Concrete Industries • RFD 5 • Box 100 • Bangor, Maine 04401  
1-800-432-7843 • (207) 947-8334

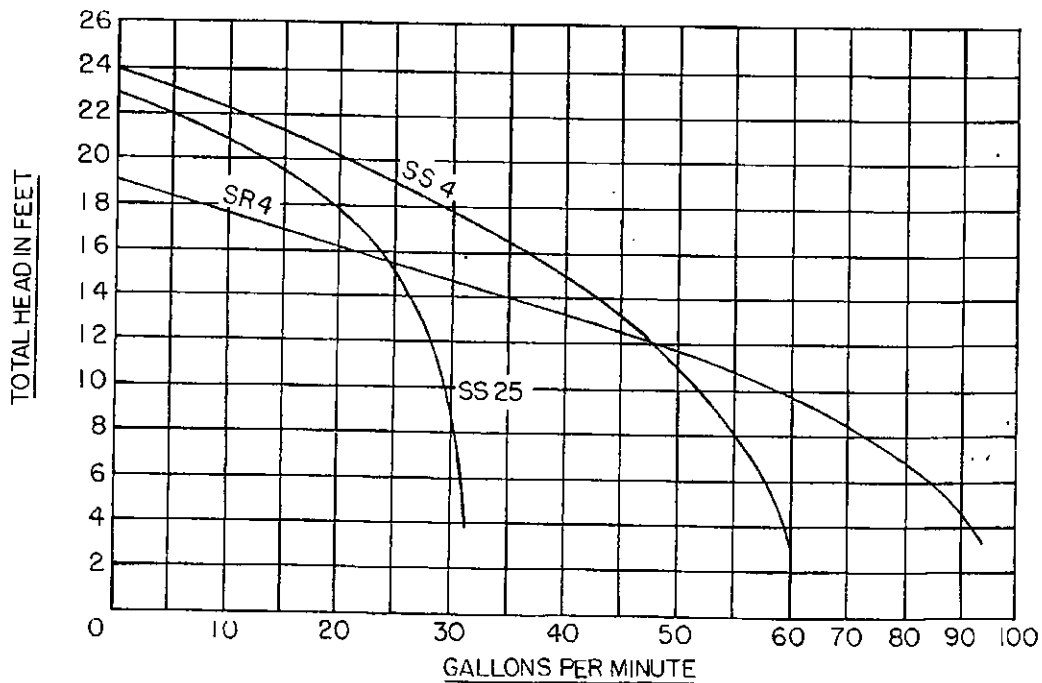
## Residential Pump Stations And Pump Tanks



Complete Package Sewage, Ejector, Submersible System ready to install between septic tank and drain bed.

Pump Tanks available without pumps.

Capacity	Description	Item No.
100 Gal.	3'x3' Pump Tank	1707
100 Gal.	Pump Tank w/pump	1726
250 Gal.	4'x4' Pump Tank	1712
250 Gal.	Pump Tank w/pump	1731





ONLY USE WHEN NECESSARY

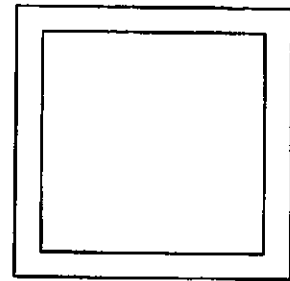
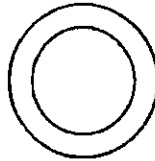
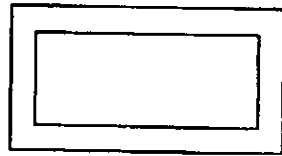
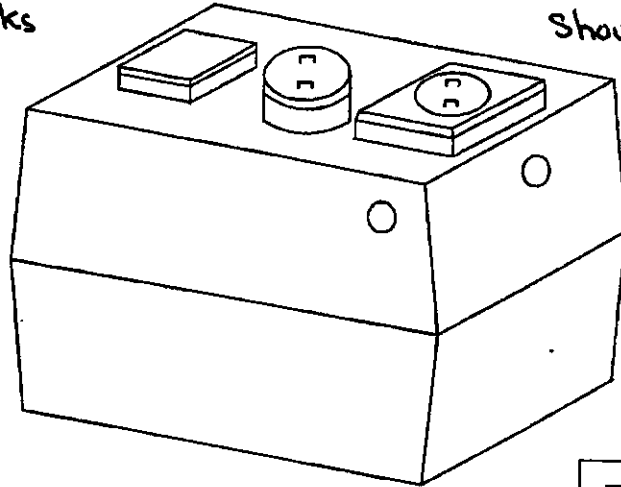
# Gagne Precast CONCRETE PRODUCTS

~ Service and Quality ~

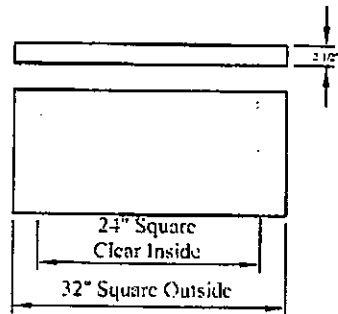
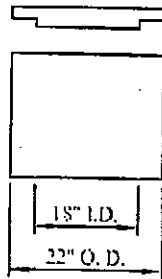
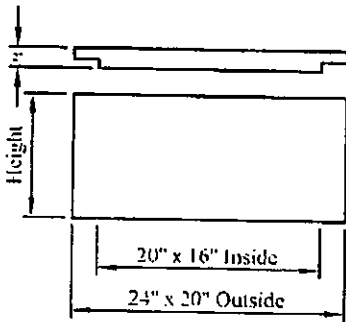
Provides easy access  
for maintenance &  
inspection for tanks  
& pump stations

## TANK RISERS

\*Preferably, the tank  
should not be buried  
more than 8" & it  
should be insulated well.



### PLAN



### ELEVATION

Rectangular Inspection Risers		
Item #	Size	Weight
21970	18" High	240 lb
21955	12" High	160 lb
21940	6" High	80 lb
21975	Cover	80 lb

Circular Inspection Risers		
Item #	Size	Weight
21920	24" High	260 lb
21910	18" High	200 lb
21900	12" High	130 lb
21890	6" High	70 lb
21930	Cover	70 lb

Square Lift Station Risers		
Item #	Size	Weight
21998	24" High	930 lb
21996	18" High	700 lb
21994	12" High	470 lb
21992	6" High	230 lb
21991	Cover	220 lb

C:\Gagne\Tim\Gagne Catalog\Section DNriser.dwg 012104

HARDSCAPE PRODUCTS • CONSTRUCTION SUPPLIES • CONCRETE BLOCKS • PRECAST PRODUCTS

270 Riverside Drive  
Auburn, ME 04210  
1-800-339-1132

RR 1 Box 85  
Belgrade, ME 04917  
1-800-339-3313

1506 State Street  
Veazie, ME 04401  
1-800-649-7393

70 Warren Avenue  
Westbrook, ME 04902  
1-800-339-9184

[www.gagneprecast.com](http://www.gagneprecast.com)



TYPICAL

- NEED 2 OUTLETS

↳ 1 FOR USE

↳ 1 FOR POSSIBLE EXPANSION

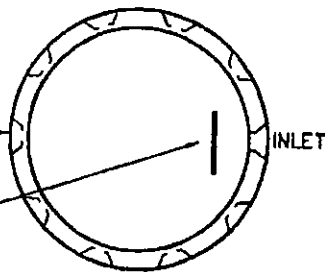
NOTE:

1. BOTTOM OF BASE SECTION SHALL BE MIN. 5'-0" BELOW FINISH GRADE UNLESS OTHERWISE NOTED.

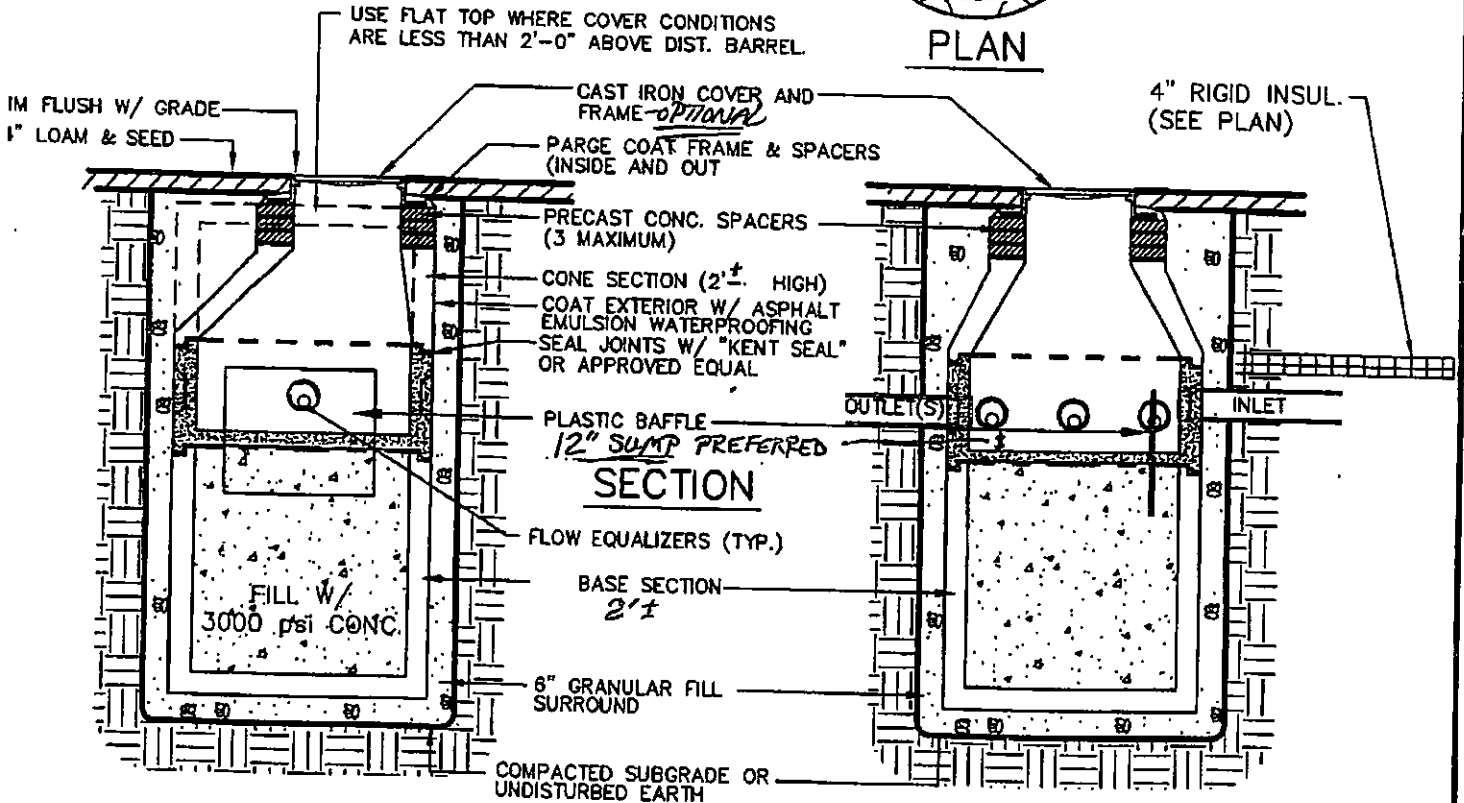
2. FLOW EQUALIZERS SHALL BE USED AT EACH OUTLET TO THE DISPOSAL FIELD.

KNOCKOUT PLUG (TYP.)

PLASTIC BAFFLE



PLAN

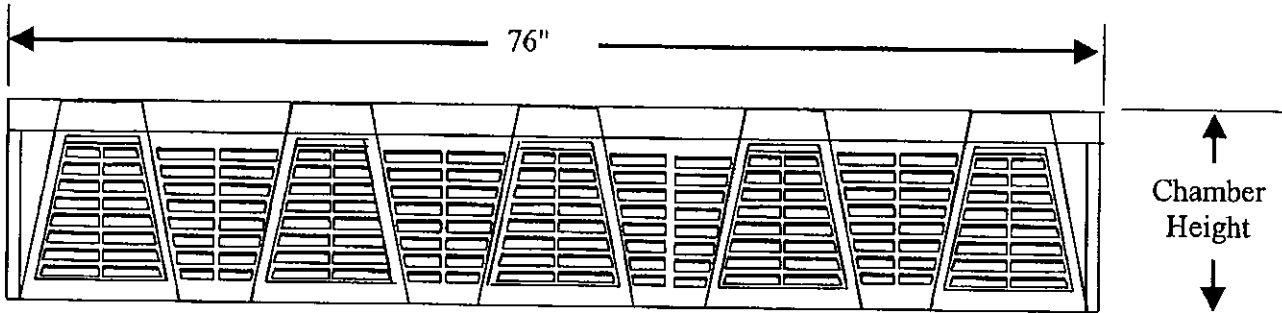


SECTION

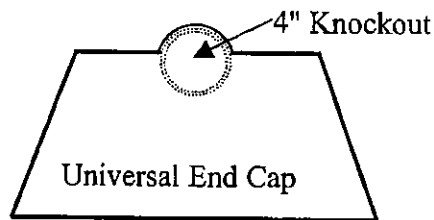
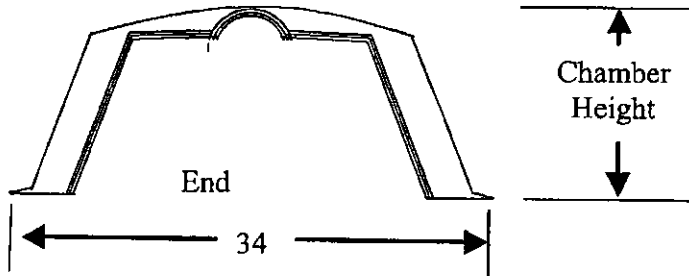
**SEWER DISTRIBUTION MANHOLE**

N.T.S.

# BioDiffuser™ Standard & High Capacity Chamber Specifications



All three BioDiffuser sizes can withstand H-10 loads when installed with properly graded and compacted soils. A minimum of 12" of cover is required for H-10 loads. The 14" High Capacity BioDiffuser is designed for H-20 loads. A minimum of 18" of cover is required for H-20 loads.



## Available Sizes

Chambers	11" Standard H-10	14" High Capacity H-20	16" High Capacity H-10
ADS Prod #	1100BD	1400BD	1600BD
Length	76"	76"	76"
Width	34"	34"	34"
Invert	6.5"	9"	11.3"
Units / Pallet	51	38	45
Units / TL	1071	798	945

ADS / PSA BioDiffuser Chambers can be ordered in pallet quantities. Contact your ADS Customer Service for ordering details - 1-800-821-6710

**THE MOST  
ADVANCED  
NAME IN  
DRAINAGE  
SYSTEMS**

# Product Notes

## Product Note 3.121

**Re:** BioDiffuser Standard & High Capacity Chamber Installation

**Date:** October 10, 2002

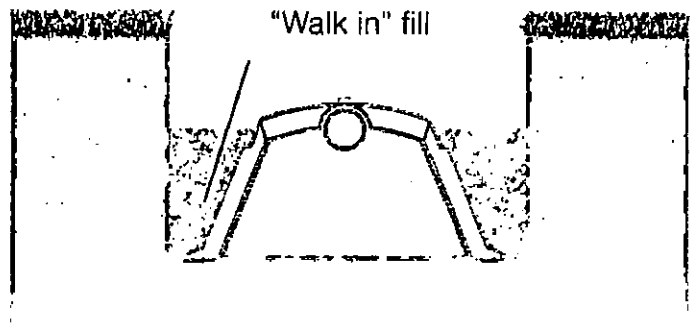


The BioDiffuser chamber is an economical, easy to install alternative to the conventional on-site leachfield system. In a conventional system, 4" pipe and gravel are used to fill the excavation. Chamber units reduce or eliminate the gravel, thereby eliminating many of the problems inherent in gravel systems: compaction, loss of storage, fines clogging the gravel, and masking.

The BioDiffuser chamber may be used on any site suitable for conventional gravel on-site systems.

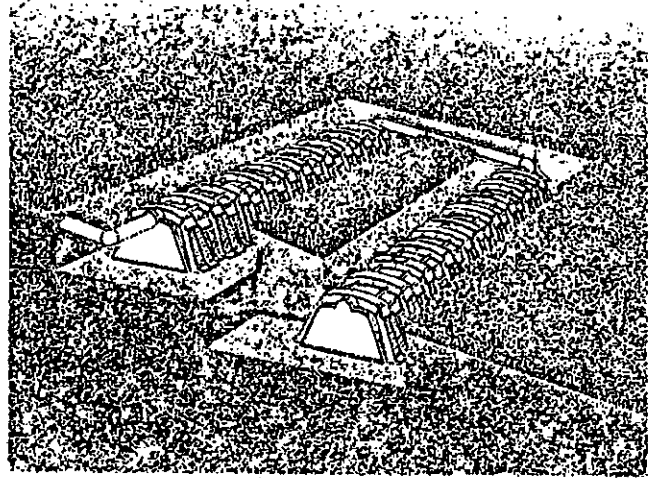
## Trench Installation Guidelines

1. Excavate trench to 3' wide and proper depth as specified in the system design and as required by state and local codes.
2. Scarify the bottom & sidewall surfaces to remove any smearing that may have occurred during excavation. Smooth irregularities in the excavation. A level, flat surface is necessary.
3. Assemble the BioDiffuser chambers in the trench excavation by engaging the "dome" end of the installing chamber over the "post" end of the chamber already in place. No screws required.
4. Place end plates on end units of the chamber line. Secure in place with backfill (no screws required). Connect distribution pipe in the knock-outs as required by plan.
5. Knock out the scribed holes in the end cap of the first chamber unit and install distribution pipe from the distribution box or septic tank as described in the plan. Knockouts will accommodate either SDR 35, Schedule 40 or ADS-3000 Triplewall® pipe. Score the appropriate groove in the knockout with a knife before removing the plug with a shovel handle to create a 4.2" or 4.5" hole as required.
6. Connect serial lines of the chambers in the same manner, where called for.
7. Fill sidewall area to top of chambers with native soil (or select fill where required). Coarse sand or fine gravel is recommended. Heavy clay, silt or debris, shall not be included in the backfill.
8. "Walk in" fill to compact soil along the sides of the chamber. This is important to achieve full weight/ load rating.

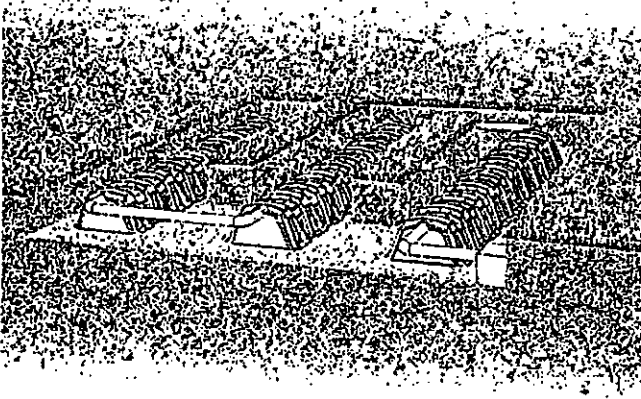


Trench Detail

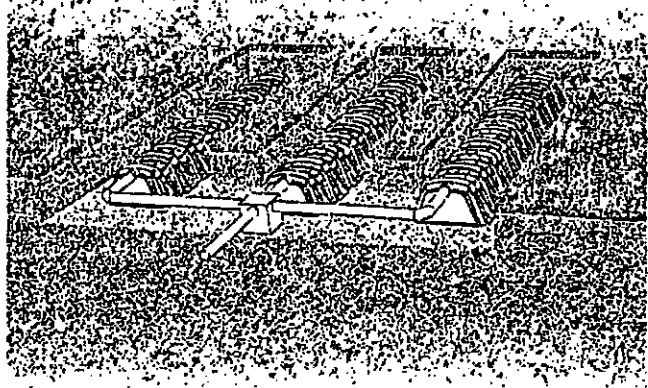
9. Complete the backfill of the system with native soil or select fill to the depth specified in the system design and as required by state and local codes. Avoid large rocks and debris in backfill material. Do **not** drive equipment over the BioDiffuser chambers without bridging the excavation. For vehicular loading applications, all BioDiffuser chambers are approved for H-10 loading when installed with a minimum of 12" of cover after consolidation. **Only the 14" High Capacity Model is approved for H-20 load installations. H-20 loads require a minimum of 18" of cover after consolidation.** Well-graded gravel and careful compaction is recommended for H-20 load installations.



Serial System



Series System

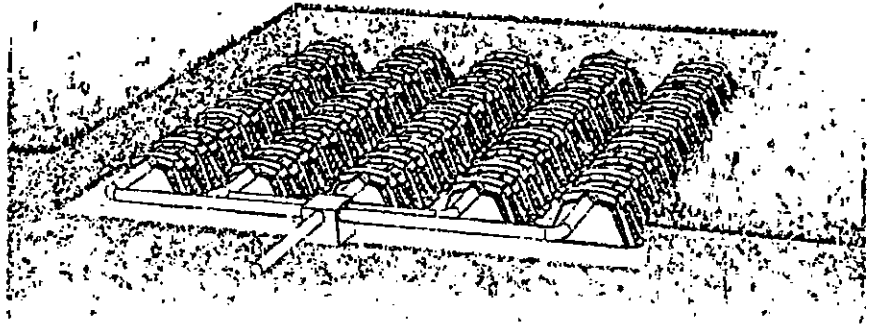


Trench System

## Bed Installation

1. Excavate and level installation area.
2. Scarify surface to remove any smearing that may occur during excavation. Smooth irregularities in the excavation.
3. Assemble the BioDiffuser chambers in adjacent rows to cover the desired area by placing the "dome" end of the installing chamber over the "post" end of the chamber already in place. No screws required.
4. Place end plates on end units of the chamber line. Secure the end caps in place with backfill (no screws required). Connect distribution pipe in the knock-outs as required by plan.
5. Knock out the scribed holes in the end cap of the first chamber unit and install distribution pipe from the distribution box or septic tank as described in the plan. Knockouts will accommodate either SDR 35, Schedule 40 or ADS-3000 Triplewall® pipe. Score the appropriate groove in the knockout with a knife before removing the plug with a shovel handle to create a 4.2" or 4.5" hole as required.

6. Fill sidewall area to top of chambers with native soil (or select fill where required). Coarse sand or fine gravel may also be used; no heavy clay, silt or debris should be included.
7. "Walk in" fill to compact soil along the sides of the chamber. This is important to achieve full weight / load rating.
8. Using a light tracked machine, cover the BioDiffuser chambers with native soil or select fill to the depth specified in the system design and as required by state and local codes. Avoid large rocks and debris in the backfill material. Do not drive equipment over the BioDiffuser chambers without bridging the excavation. For vehicular loading applications, all BioDiffuser chambers are approved for H-10 loading when installed with a minimum 12" of cover after consolidation. Only the 14" High Capacity Model is approved for H-20 load installations. H-20 loads require a minimum of 18" of cover after consolidation. Well graded gravel and careful compaction is recommended for H-20 load installations.



Bed System

**BIODIFFUSER LIMITED WARRANTY**

1. PSA, Inc. ("PSA"), a subsidiary of ADS, Inc., warrants to the original purchaser that each BioDiffuser unit is free from defects in materials and workmanship for one year from the date of purchase, when installed in accordance with the manufacturer's instructions. This warranty will not apply to any units that have been subjected to abuse or mishandling, or that have been repaired or altered by anyone other than PSA. PSA's sole responsibility under this warranty shall be the replacement of the unit. PSA's obligation under this warranty shall not include any transportation charges or the costs of installation and IN NO EVENT SHALL PSA BE LIABLE FOR SPECIAL, INDIRECT OR CONSEQUENTIAL DAMAGES.
2. TO THE EXTENT ALLOWED BY LAW, THIS WARRANTY SHALL BE EXCLUSIVE AND IN LIEU OF ALL OTHER WARRANTIES (WHETHER EXPRESS, IMPLIED OR STATUTORY), INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE.
3. The purchaser shall be responsible for insuring that installation of the unit is completed in accordance with all applicable laws, codes, rules and regulations. In no event shall PSA be responsible for any loss or damage to the purchaser, the units, or any third party resulting from installation or shipment.
4. No statements or representations made by any representative of PSA shall alter, vary or expand the provisions of this warranty. This warranty is applicable only to the original purchaser and there shall be no third-party beneficiaries to this warranty.
5. All claims made under this warranty shall be presented to PSA in writing no later than thirty (30) days after the discovery of any defect in the BioDiffuser unit. Any claim under this warranty that is not presented within 30 days upon discovery shall be deemed unconditionally waived.

## Subsurface Wastewater Disposal

### RECOMMENDED USE OF YOUR SUBSURFACE WASTEWATER DISPOSAL SYSTEM

- System is to be used only for disposal of the wastewater (type and volume) that it was originally designed for.
- Water from other sources such as roof runoff, floor and foundation drains, soil surface runoff, and groundwater shall be intercepted and diverted away from the disposal field. This additional water should not be directed into the system.
- Restricted chemicals, toxic substances (photo developing solutions, paints, thinners, pesticides, etc.), non-biodegradable materials (diapers, cat box litter, cigarette filters, sanitary napkins), and cooking greases or fats must not be disposed of into the system.
- Garbage grinders and garbage disposals are not recommended because they increase the amount of suspended solids and other particulates that enter the disposal field. If used, the septic tank size and installation shall be modified according to the Code. Also, a "Zabel" filter should be installed on the septic tank outlet.
- Septic tank additives or cleaners are not necessary and should not be used.
- Avoid excessive generation of wastewater from all typical sources and fixtures, such as clothes washer, dishwasher, faucets, toilets, and showers. Minimize the number of loads of laundry done per day. Also, avoid using several of these sources in excess during a short time period (1 day or less). Repair all malfunctioning plumbing as soon as possible, particularly leaking faucets or pipes.

\* NOTE: These recommendations are based on requirements of the Maine State Plumbing Code and the experiences of professionals in the field.

Subsurface Wastewater Disposal

RECOMMENDED INSPECTION AND MAINTENANCE OF YOUR  
SUBSURFACE WASTEWATER DISPOSAL SYSTEM

- System should be inspected by a qualified professional once every 5 years at a minimum. If system shows signs of malfunctioning or the actual water use is estimated to be greater than the theoretical design flow used for the system, the inspection should be done at least every 2 years.
- Septic tank should be pumped out and cleaned about every 3 years, depending on the typical use. Pumping shall be done by a State registered pumper/hauler. Be sure to verify the condition of the septic tank baffles and sludge depth at the time. If excessive sludge accumulation is noted, the septic tank should be pumped out more frequently.
- The system's disposal field shall be maintained to prevent erosion of the cover material and should be kept free of vehicle traffic and unwanted vegetation (particularly trees and other woody plants because of their roots). The disposal field's surface grading shall be maintained as originally designed to promote runoff of water.

\* NOTE: These recommendations are based on requirements of the Maine State Plumbing Code and the experiences of professionals in the field.